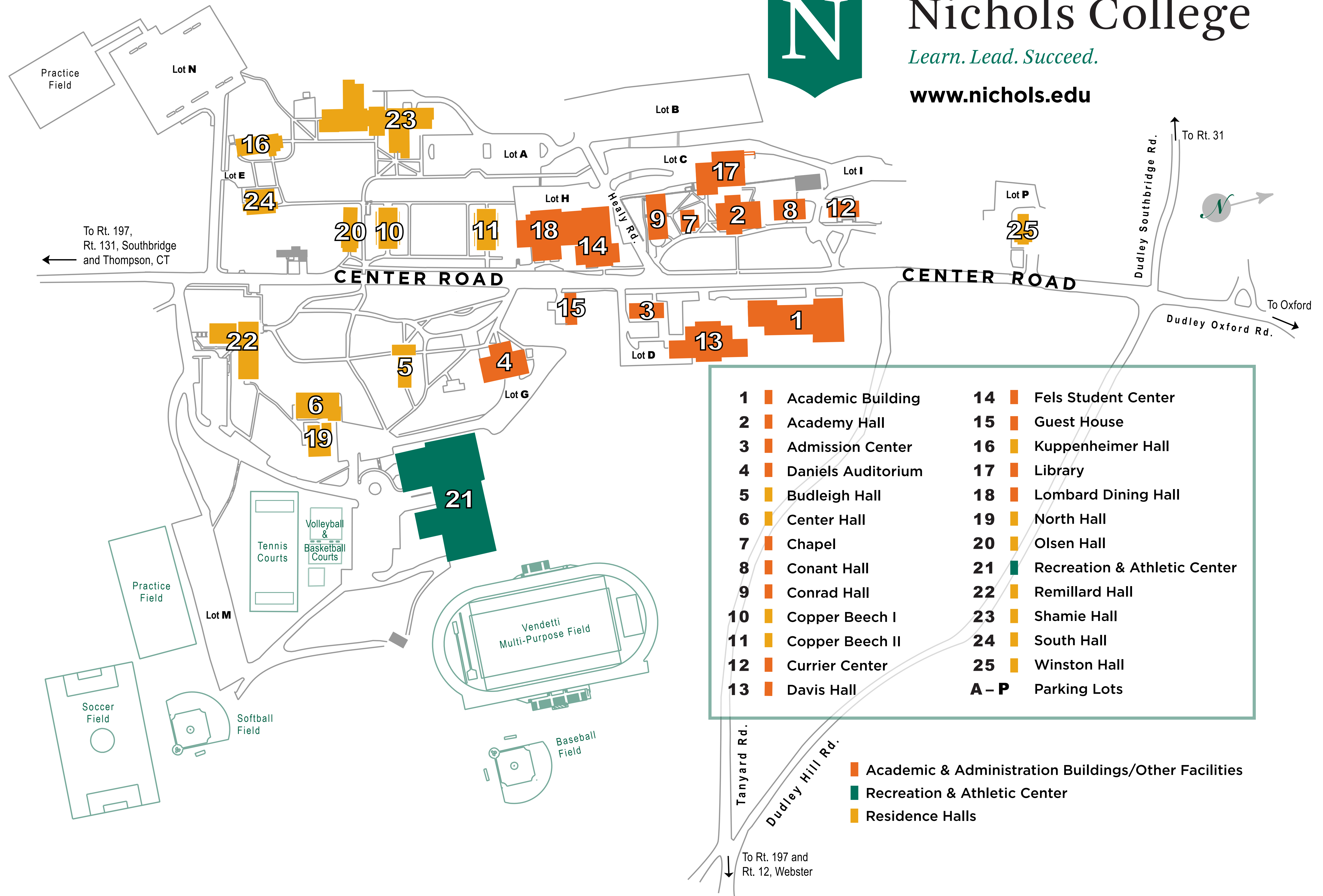




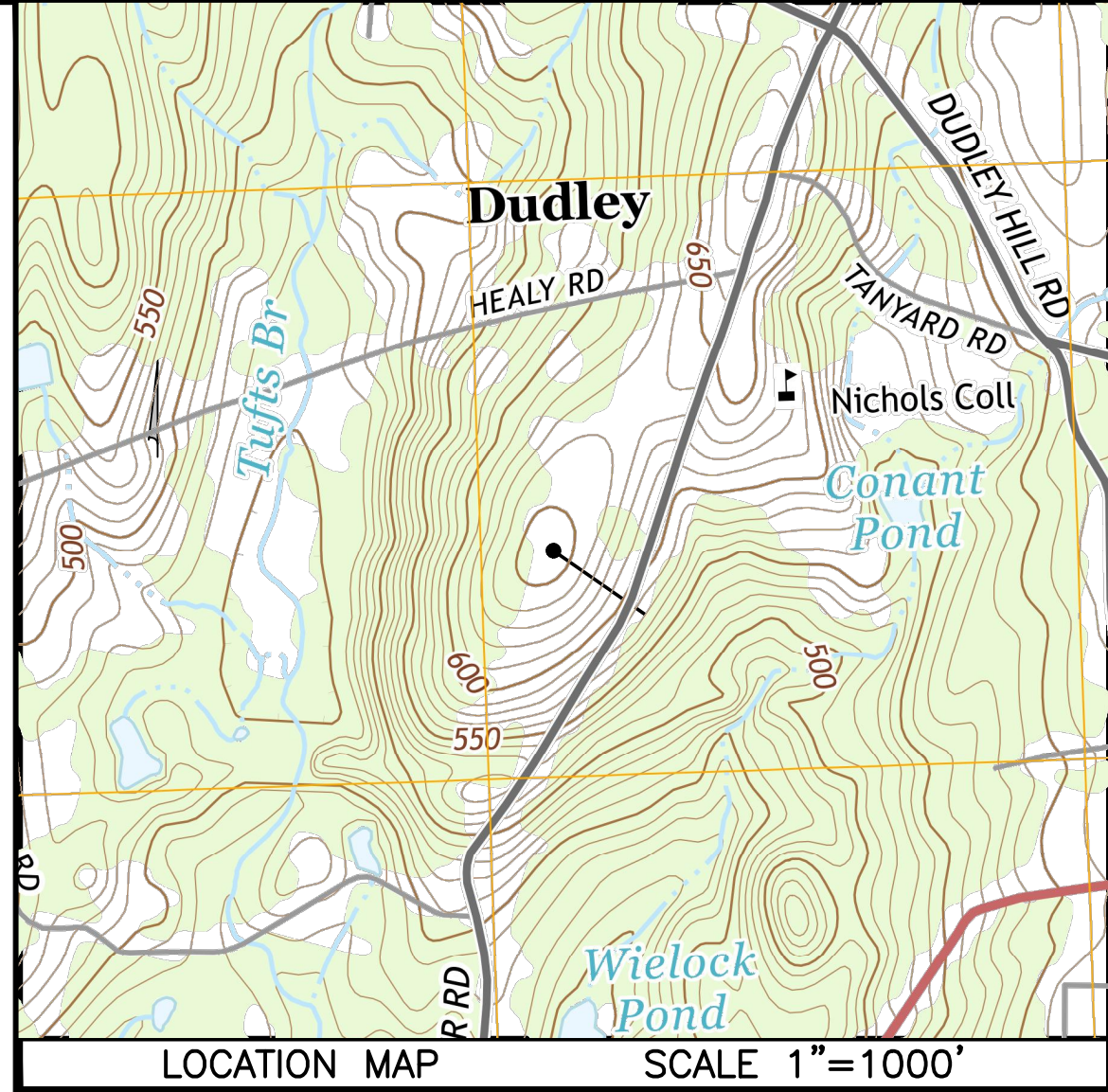
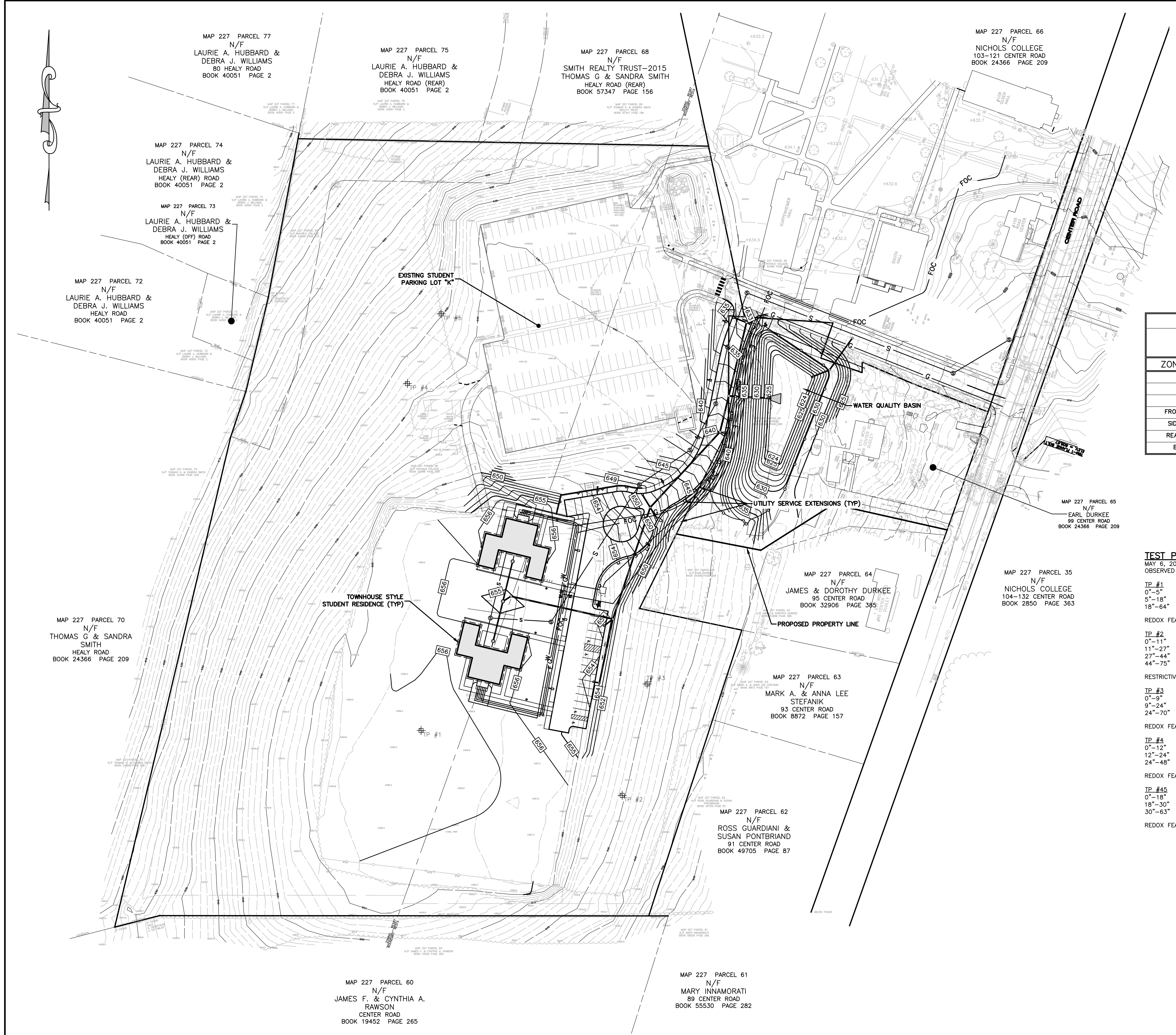
# Nichols College

*Learn. Lead. Succeed.*

[www.nichols.edu](http://www.nichols.edu)







DIMENSIONAL REQUIREMENTS		
RESIDENTIAL 15/RESIDENTIAL 87		
ZONING CRITERIA	REQUIRED	PROVIDED
LOT AREA	15,000 SF / 87,000 SF	>1,000,000 SF
LOT FRONTAGE	100' / 150'	>1000'
LOT COVERAGE	30% / 20%	±20%
FRONT YARD SETBACK	30' / 40'	>100'
SIDE YARD SETBACK	15' / 25'	±120'
REAR YARD SETBACK	20' / 25'	±330'
BUILDING HEIGHT	35'	35'

**TEST PITS**  
MAY 6, 2022  
OBSERVED BY P. PARENT (CHA)

**TP #1**  
0"-5" FINE SANDY LOAM WITH GRAVEL 7.5YR ¾  
5"-18" FINE SANDY LOAM WITH GRAVEL 7.5YR ¾  
18"-64" FINE SANDY LOAM WITH GRAVEL & COBBLES 10YR ¾

REDOX FEATURES OBSERVED AT 18"

**TP #2**  
0"-11" FINE SANDY LOAM 7.5YR ¾  
11"-27" FINE SANDY LOAM 10YR ¾  
27"-44" FINE SANDY LOAM 10YR ¾  
44"-75" COMPACT LOAMY SAND 10YR ¾

RESTRICTIVE LAYER AT 44"

**TP #3**  
0"-9" FINE SANDY LOAM 7.5YR ¾  
9"-24" FINE SANDY LOAM 10YR ¾  
24"-70" FINE SANDY LOAM WITH GRAVEL & COBBLES 2.5YR ¾

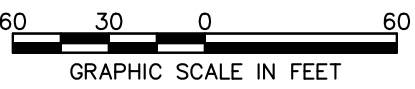
REDOX FEATURES OBSERVED AT 38"

**TP #4**  
0"-12" FINE SANDY LOAM 7.5YR ¾  
12"-24" FINE SANDY LOAM 7.5YR ¾  
24"-48" FINE SANDY LOAM WITH GRAVEL & COBBLES 7.5YR ¾

REDOX FEATURES OBSERVED AT 24"

**TP #4S**  
0"-18" FINE SANDY LOAM 7.5YR ¾  
18"-30" COMPACT FINE SANDY LOAM WITH GRAVEL 7.5YR ¾  
30"-63" COMPACT FINE SANDY LOAM WITH GRAVEL 10YR ¾

REDOX FEATURES OBSERVED AT 18"



APPROVED BY THE  
PLANNING BOARD

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

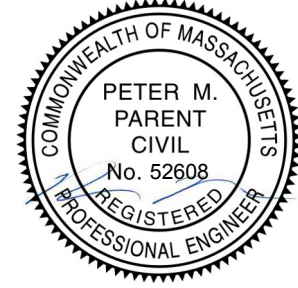
\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Juster Pope Frazier, LLC  
Architects and Planners  
82 North Street  
Northampton, Massachusetts 01060  
413 . 586 . 1600

Clough Harbour Associates, LLP  
Civil Engineers  
101 East River Drive, 1st Floor  
East Hartford, CT 06108  
860.290.4100



OWNER/APPLICANT  
**NICHOLS COLLEGE**  
121 CENTER ROAD  
PO BOX 5000  
DUDLEY, MA 01571  
508-213-2217

**TOWNHOMES**

CENTER ROAD, DUDLEY, MA 01571

REVISIONS			
NO.	DATE	BY	REMARKS
1	6/30/22	PMP	REVIEW COMMENTS
2	10/3/22	PMP	REVISED SITE LAYOUT

SET

**PLANNING BOARD  
SUBMISSION**

SHEET TITLE

**OVERALL SITE PLAN**

DATE	MAY 25, 2022
SCALE	1" = 60'
DRAWN BY	PMP
CHECKED BY	
SHEET NO.	

C1.0



**Clough Harbour Associates, LLP**  
Civil Engineers  
101 East River Drive, 1st Floor  
East Hartford, CT 06108  
860.290.4100



## TOWNHOMES

## REVISIONS

SET

SHEET TITLE

DATE	MAY 25, 2022
------	--------------

SCALE 1" = 20'

DRAWN BY	PMP
----------	-----

CHECKED BY

SHEET NO.

## C1.1





**Clough Harbour Associates, LLP**  
Civil Engineers  
101 East River Drive, 1st Floor  
East Hartford, CT 06108  
860.290.4100



121 CENTER ROAD  
PO BOX 5000  
DUDLEY, MA 01571  
508-213-2217

CENTER ROAD, DUDLEY, MA 01571

REVISIONS			
NO.	DATE	BY	REMARKS
1	6/30/22	PMP	REVIEW COMMENTS
2	10/3/22	PMP	REVISED SITE LAYOUT

SET

# PLANNING BOARD SUBMISSION

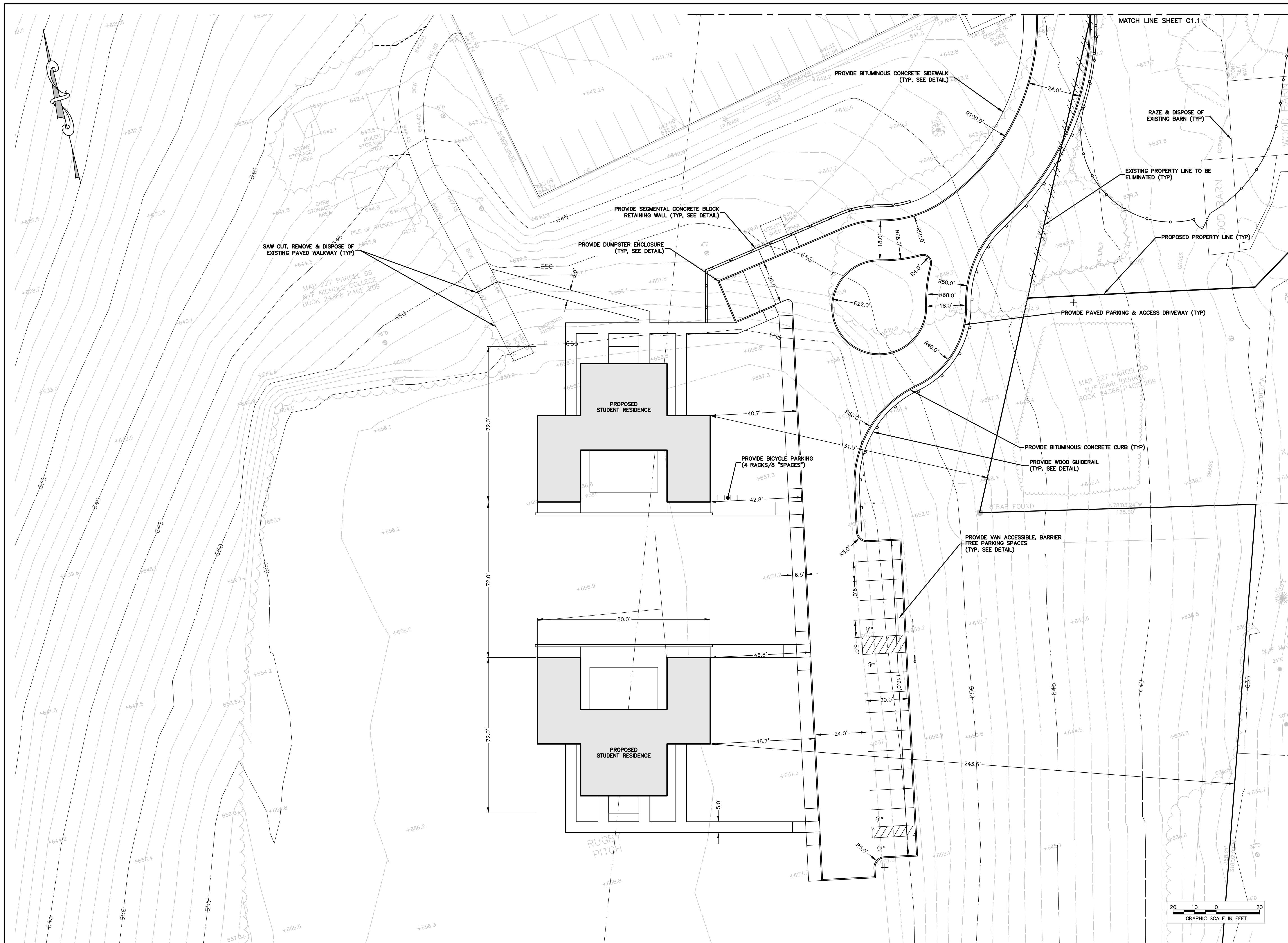
SHEET TITLE

## SITE LAYOUT PLAN

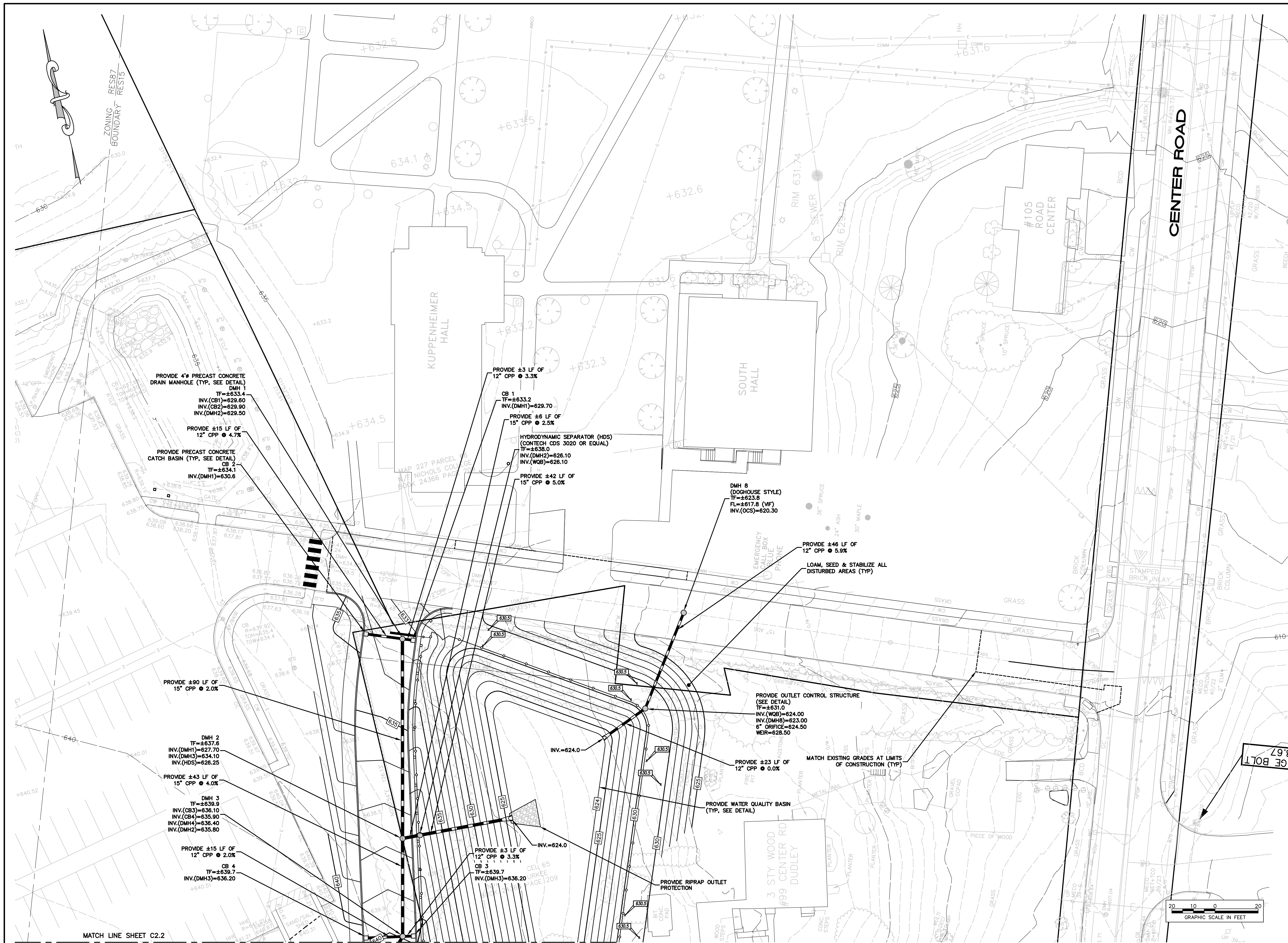
DATE	MAY 25, 2022
SCALE	1" = 20'
DRAWN BY	PMP
CHECKED BY	

SHEET NO.

C1.2

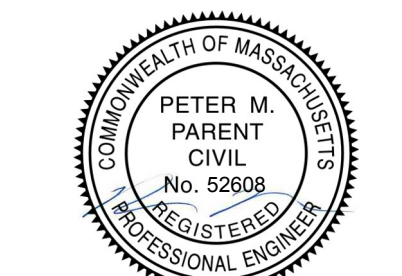






Juster Pope Frazier, LLC  
Architects and Planners  
82 North Street  
Northampton, Massachusetts 01060  
413.586.1600

Clough Harbour Associates, LLP  
Civil Engineers  
101 East River Drive, 1st Floor  
East Hartford, CT 06108  
860.290.4100



OWNER/APPLICANT  
**NICHOLLS COLLEGE**  
121 CENTER ROAD  
PO BOX 5000  
DUDLEY, MA 01571  
508-213-2217

**TOWNHOMES**

CENTER ROAD, DUDLEY, MA 01571

REVISIONS

NO.	DATE	BY	REMARKS
1	6/30/22	PMP	REVIEW COMMENTS
2	10/3/22	PMP	REVISED SITE LAYOUT

SET

**PLANNING BOARD  
SUBMISSION**

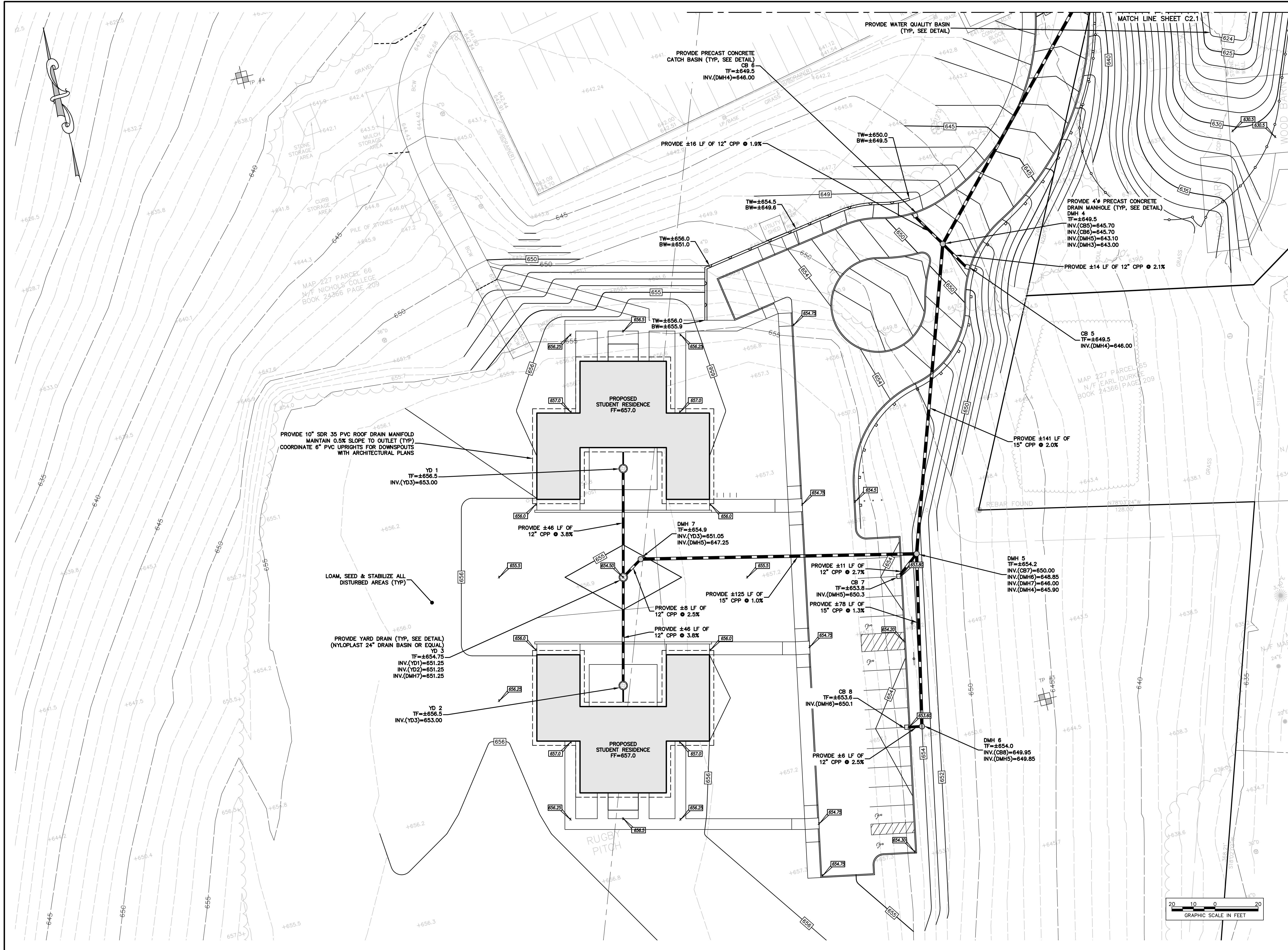
SHEET TITLE

**SITE GRADING &  
DRAINAGE PLAN**

DATE MAY 25, 2022  
SCALE 1" = 20'  
DRAWN BY PMP  
CHECKED BY  
SHEET NO.

**C2.1**





Juster Pope Frazier, LLC  
Architects and Planners  
82 North Street  
Northampton, Massachusetts 01060  
413.586.1600

Clough Harbour Associates, LLP  
Civil Engineers  
101 East River Drive, 1st Floor  
East Hartford, CT 06108  
860.290.4100



OWNER/APPLICANT  
**NICHOLS COLLEGE**  
121 CENTER ROAD  
PO BOX 5000  
DUDLEY, MA 01571  
508-213-2217

**TOWNHOMES**  
CENTER ROAD, DUDLEY, MA 01571

REVISIONS			
NO.	DATE	BY	REMARKS
1	6/30/22	PMP	REVIEW COMMENTS
2	10/3/22	PMP	REVISED SITE LAYOUT

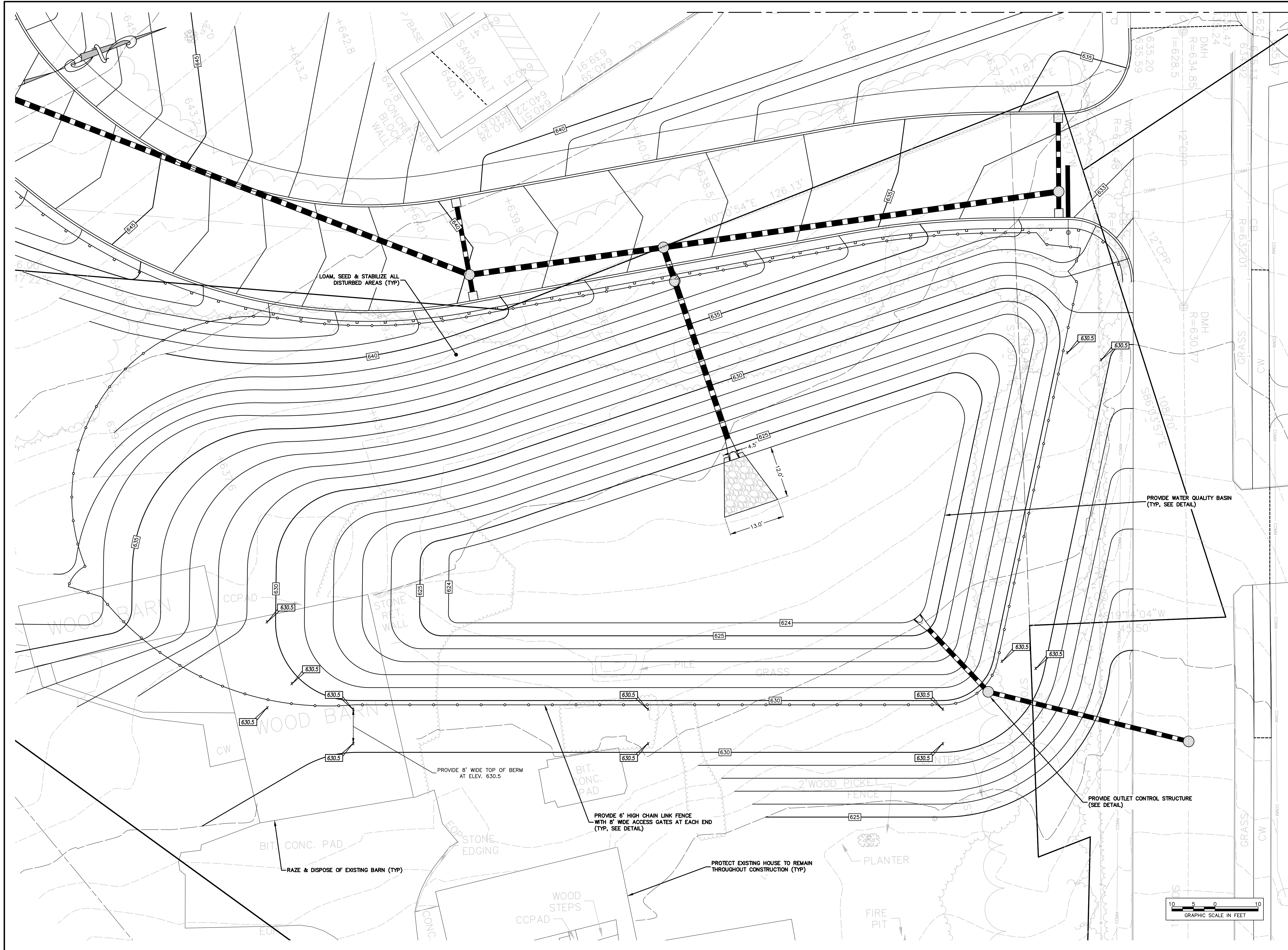
SET  
**PLANNING BOARD  
SUBMISSION**

SHEET TITLE  
**SITE GRADING &  
DRAINAGE PLAN**

DATE MAY 25, 2022  
SCALE 1" = 20'  
DRAWN BY PMP  
CHECKED BY  
SHEET NO.

**C2.2**





Juster Pope Frazier, LLC  
Architects and Planners  
82 North Street  
Northampton, Massachusetts 01060  
413 . 586 . 1600

Clough Harbour Associates, LLP  
Civil Engineers  
101 East River Drive, 1st Floor  
East Hartford, CT 06108  
860.290.4100



OWNER/APPLICANT  
**NICHOLS COLLEGE**

121 CENTER ROAD  
PO BOX 5000  
DUDLEY, MA 01571  
508-213-2217

**TOWNHOMES**

CENTER ROAD, DUDLEY, MA 01571

REVISIONS

NO.	DATE	BY	REMARKS
1	6/30/22	PMP	REVIEW COMMENTS
2	10/3/22	PMP	REVISED SITE LAYOUT

SET

**PLANNING BOARD  
SUBMISSION**

SHEET TITLE

**WATER QUALITY BASIN  
ENLARGEMENT PLAN**

DATE MAY 25, 2022

SCALE 1" = 10'

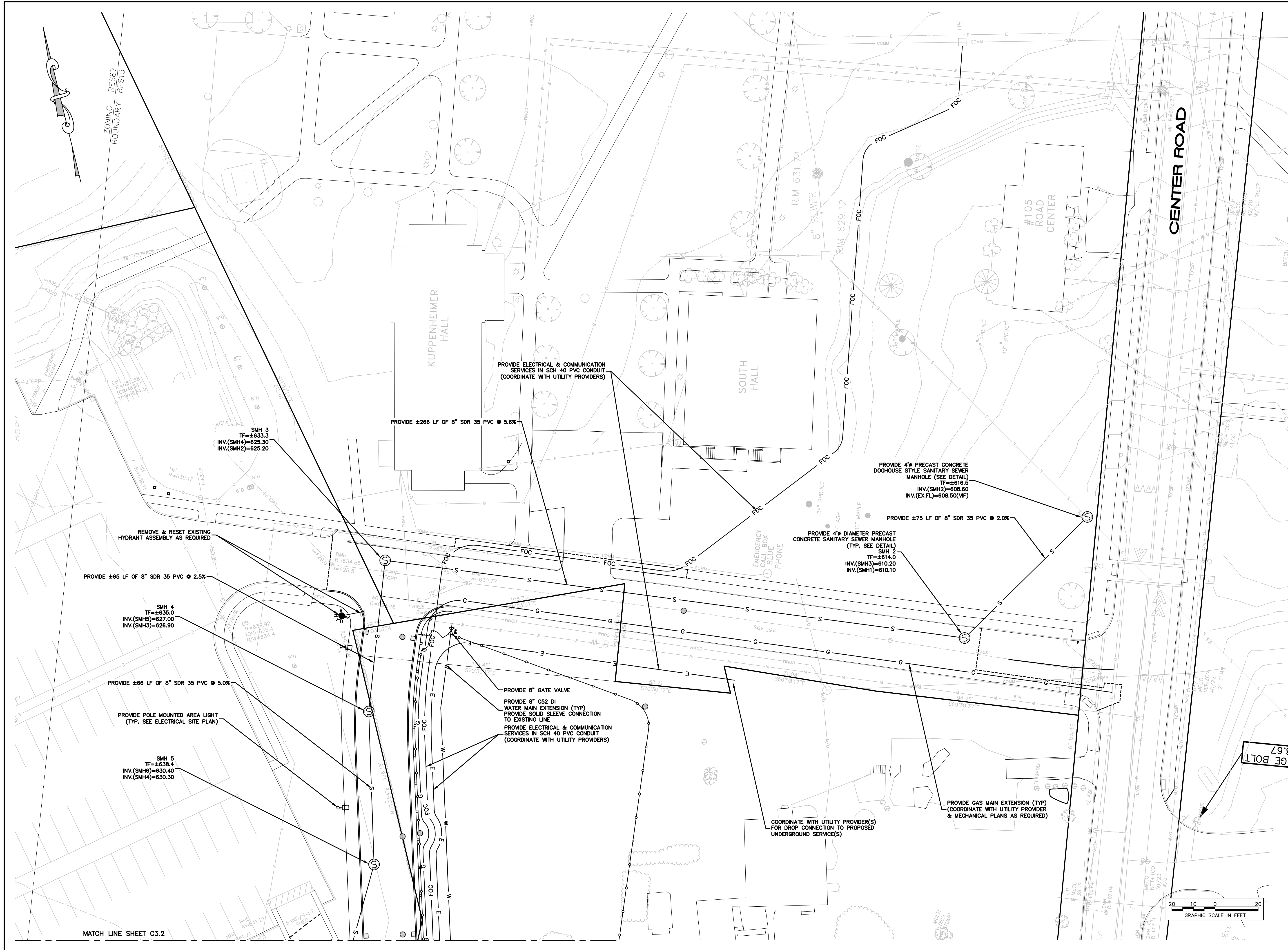
DRAWN BY PMP

CHECKED BY

SHEET NO.

**C2.3**





Juster Pope Frazier, LLC  
Architects and Planners  
82 North Street  
Northampton, Massachusetts 01060  
413.586.1600

Clough Harbour Associates, LLP  
Civil Engineers  
101 East River Drive, 1st Floor  
East Hartford, CT 06108  
860.290.4100



OWNER/APPLICANT  
**NICHOLLS COLLEGE**

121 CENTER ROAD  
PO BOX 5000  
DUDLEY, MA 01571  
508-213-2217

**TOWNHOMES**

CENTER ROAD, DUDLEY, MA 01571

REVISIONS

NO.	DATE	BY	REMARKS
1	6/30/22	PMP	REVIEW COMMENTS
2	10/3/22	PMP	REVISED SITE LAYOUT

SET

**PLANNING BOARD  
SUBMISSION**

SHEET TITLE

**SITE UTILITY PLAN**

DATE MAY 25, 2022

SCALE 1" = 20'

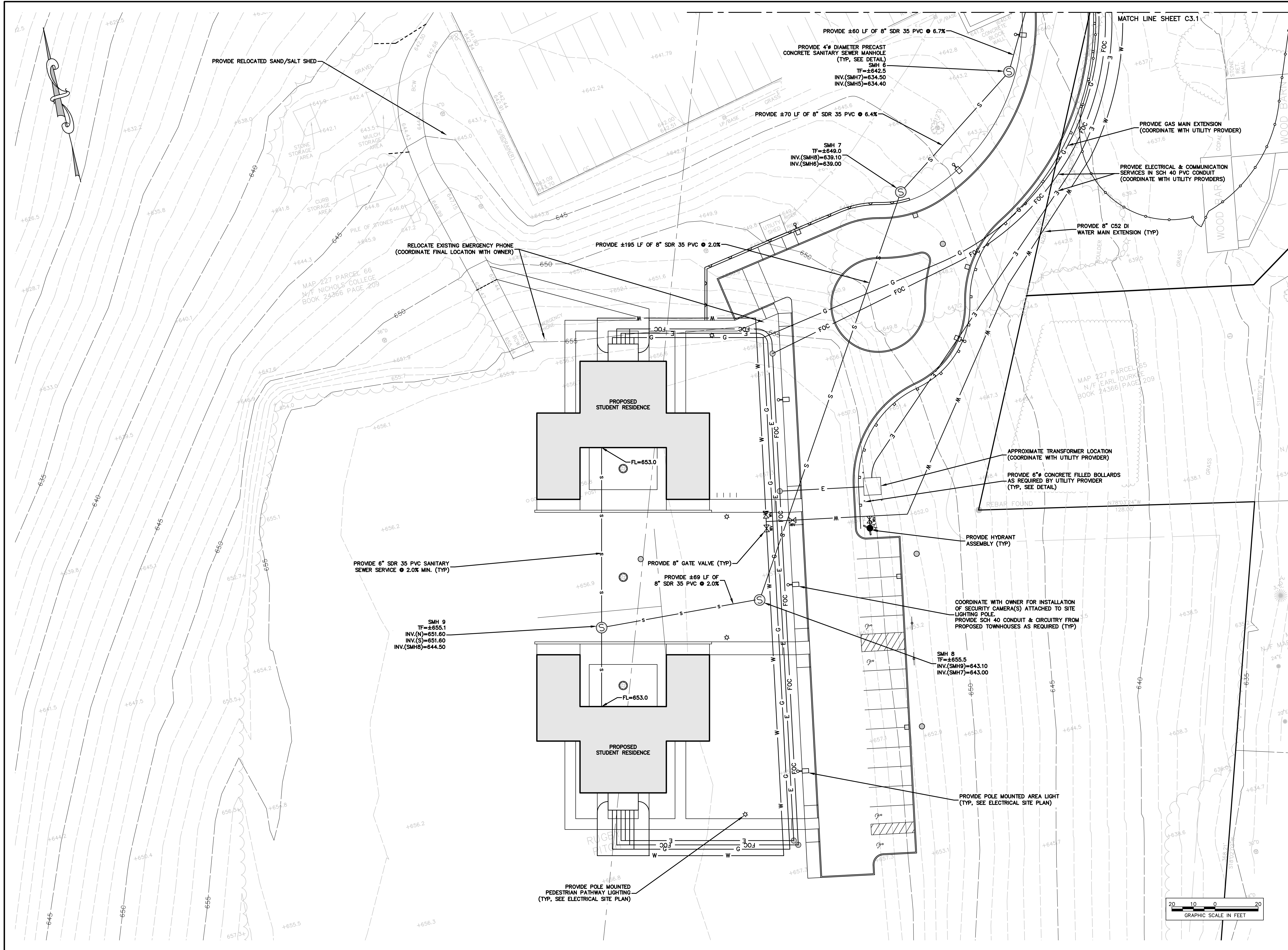
DRAWN BY PMP

CHECKED BY

SHEET NO.

C3.1





Juster Pope Frazier, LLC  
Architects and Planners  
82 North Street  
Northampton, Massachusetts 01060  
413.586.1600

Clough Harbour Associates, LLP  
Civil Engineers  
101 East River Drive, 1st Floor  
East Hartford, CT 06108  
860.290.4100



OWNER/APPLICANT  
**NICHOLS COLLEGE**  
121 CENTER ROAD  
PO BOX 5000  
DUDLEY, MA 01571  
508-213-2217

**TOWNHOMES**  
CENTER ROAD, DUDLEY, MA 01571

REVISIONS			
NO.	DATE	BY	REMARKS
1	6/30/22	PMP	REVIEW COMMENTS
2	10/3/22	PMP	REVISED SITE LAYOUT

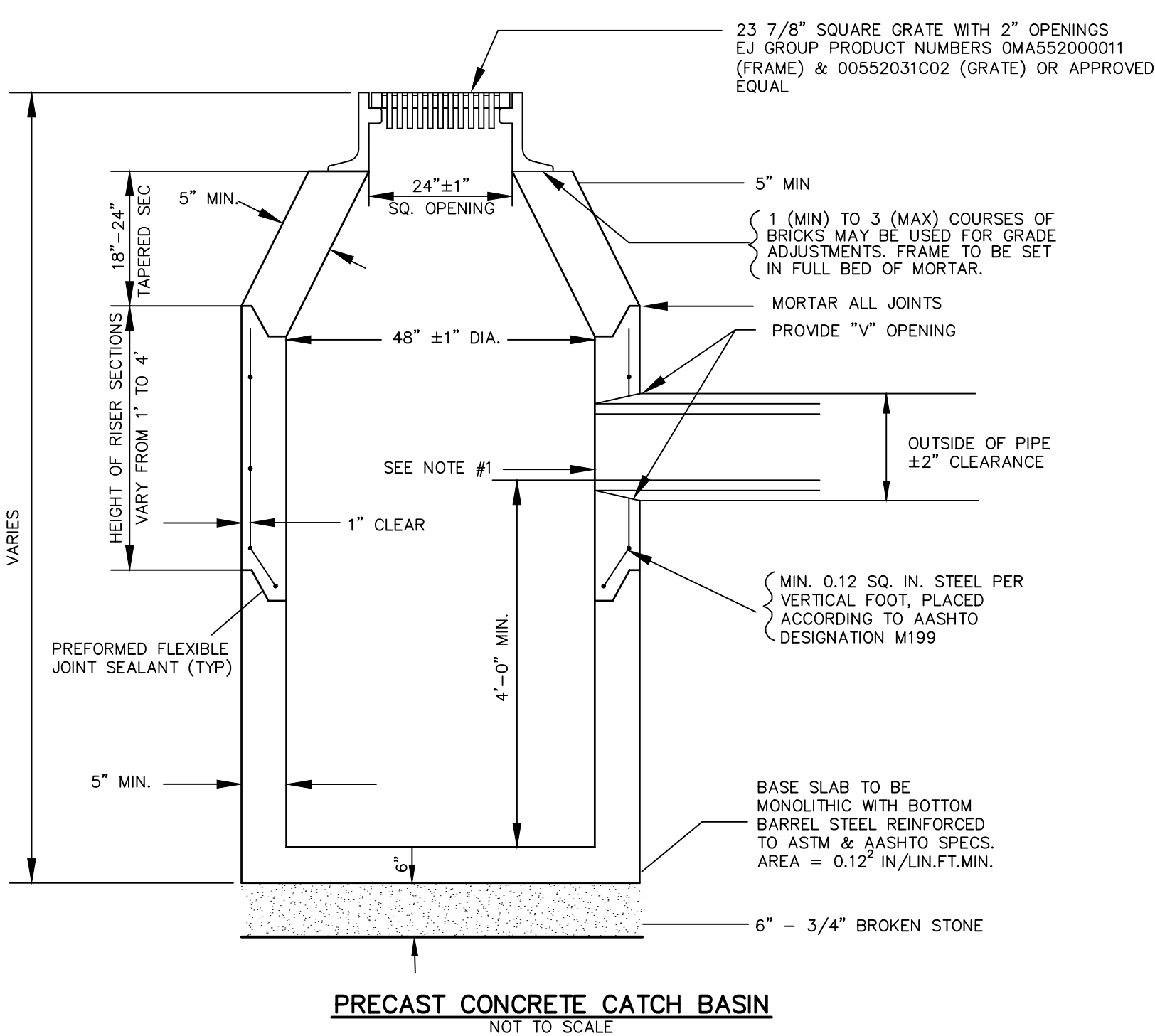
SET  
**PLANNING BOARD  
SUBMISSION**

SHEET TITLE  
**SITE UTILITY PLAN**

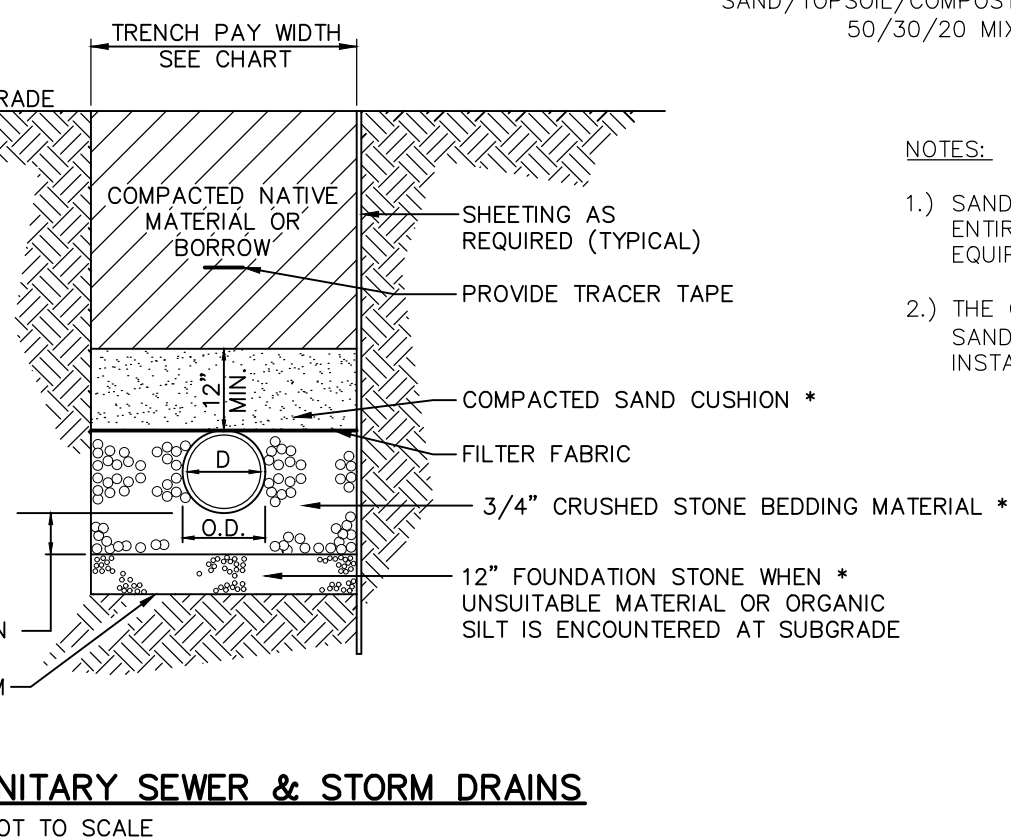
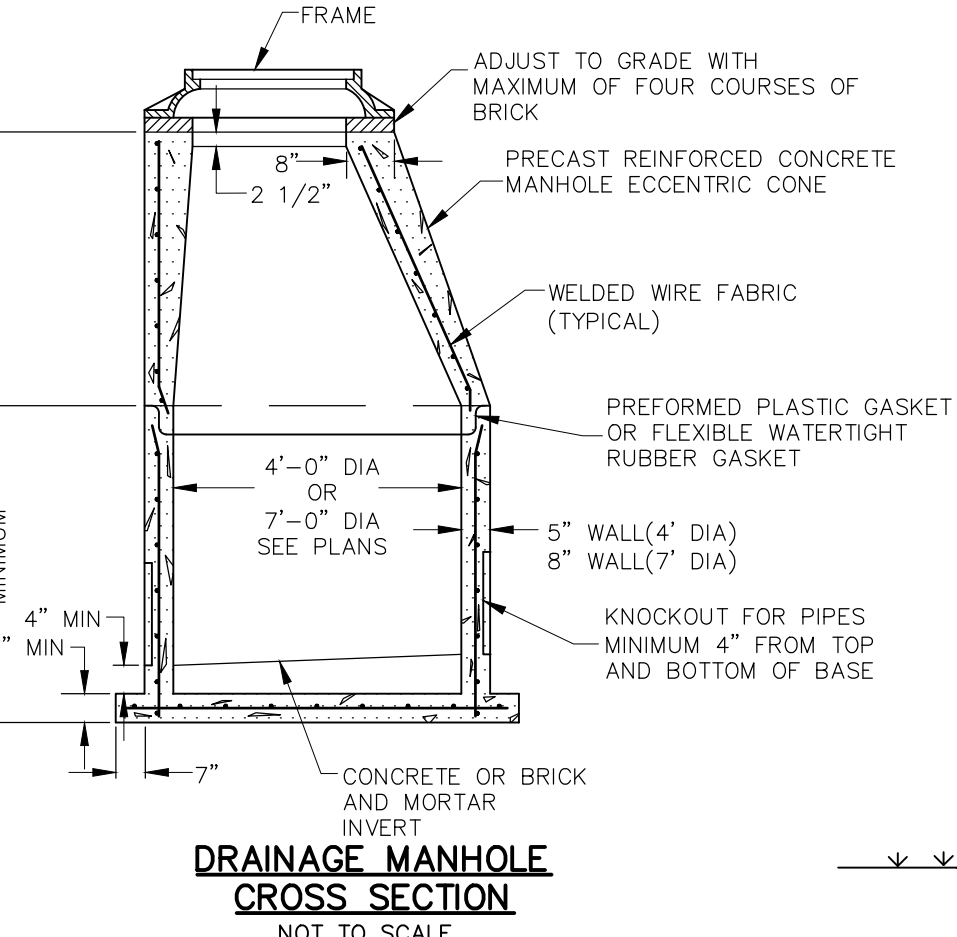
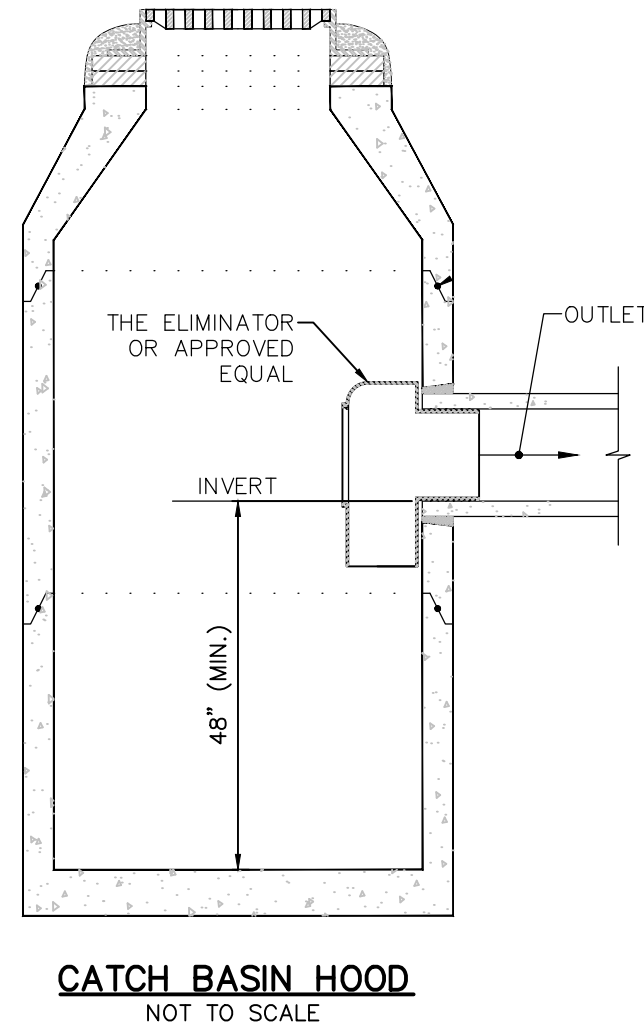
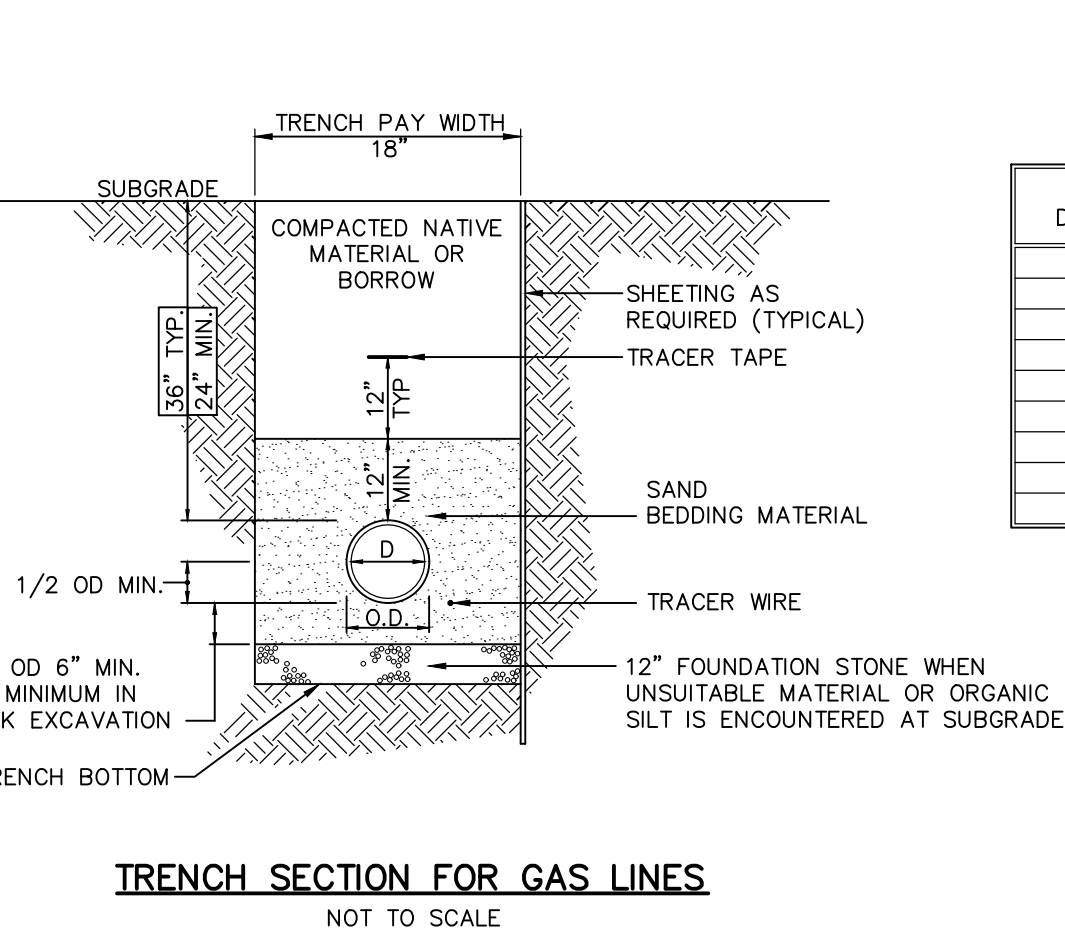
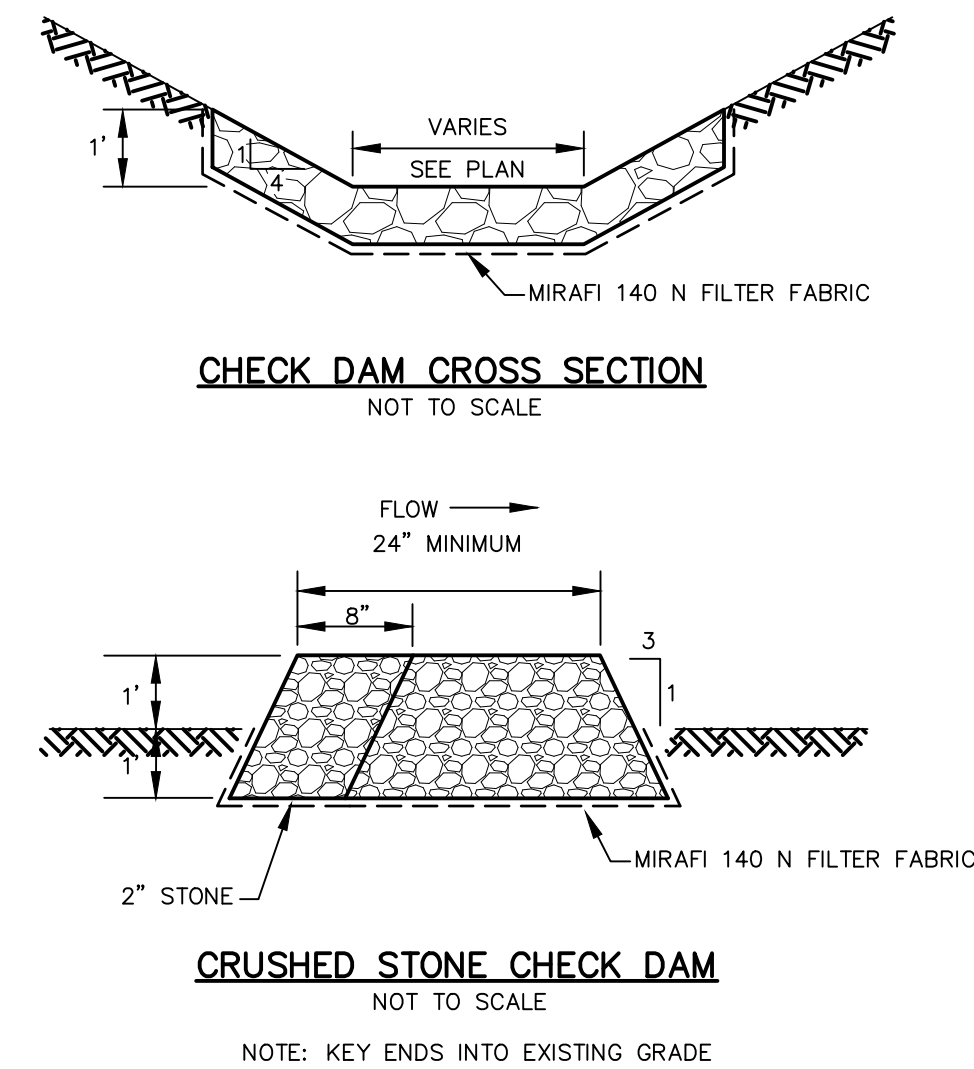
DATE MAY 25, 2022  
SCALE 1" = 20'  
DRAWN BY PMP  
CHECKED BY  
SHEET NO.

C3.2

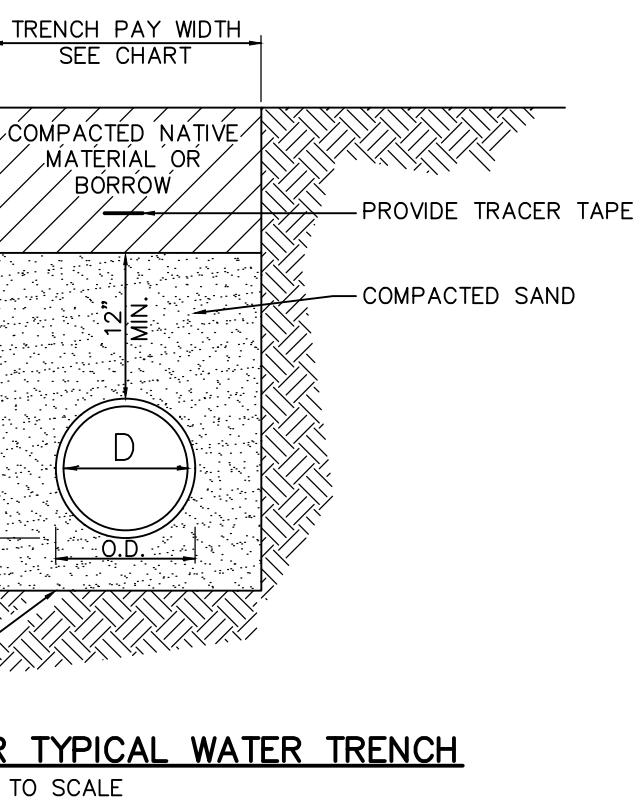




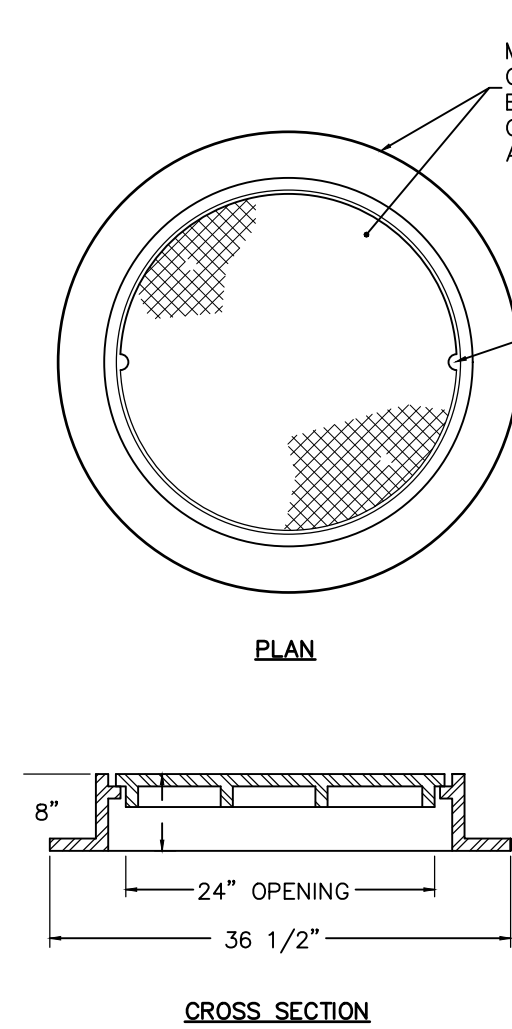
- NOTES:
- FACE OF PIPE SHALL BE FLUSH OR NOT TO PROJECT MORE THAN 4" FROM FACE OF WALL ALONG CENTERLINE OF PIPE.
  - FOR DESCRIPTION, MATERIALS, AND CONSTRUCTION METHODS SEE MASSDOT "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES" AND CONSTRUCTION STANDARDS AND THE CONTRACT DOCUMENT SPECIFICATIONS.
  - MINIMUM DEPTH OF SUMP TO BE 4'.
  - WHEN A CURB INLET IS INSTALLED, THE OPENING IS TO BE 24"  $\pm$ 1" X 27"  $\pm$ 1".
  - ALL CATCH BASINS SHALL INCLUDE A CATCH BASIN HOOD FOR THE OUTLET PIPE.
  - CATCH BASIN AND ALL APPURTENANCES SHALL MEET H-20 LOADING.



NOTE:  
BACKFILL MATERIAL TO BE PLACED IN 12" MAXIMUM LIFTS & COMPACTED TO 95% MAXIMUM DRY DENSITY (AS DETERMINED BY THE MODIFIED PROCTOR METHOD)  
\* PROVIDE NATIVE MATERIAL WITHIN 50' OF SEPTIC SYSTEM LEACHING FIELDS

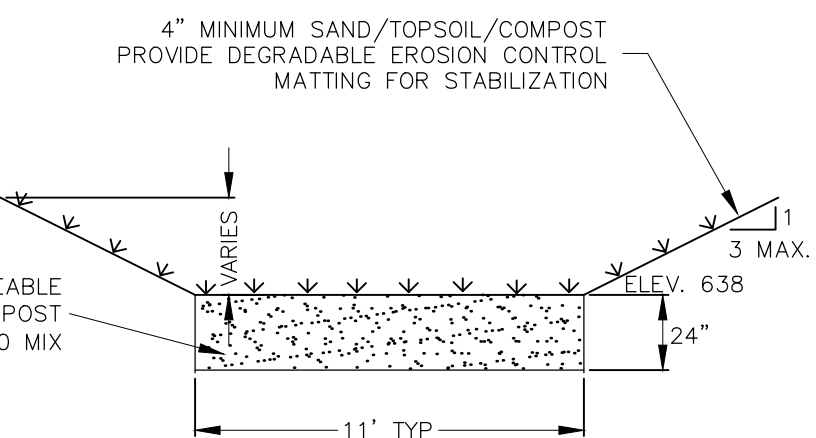


NOTE:  
BACKFILL MATERIAL TO BE PLACED IN 12" MAXIMUM LIFTS & COMPACTED TO 95% MAXIMUM DRY DENSITY (AS DETERMINED BY THE MODIFIED PROCTOR METHOD)



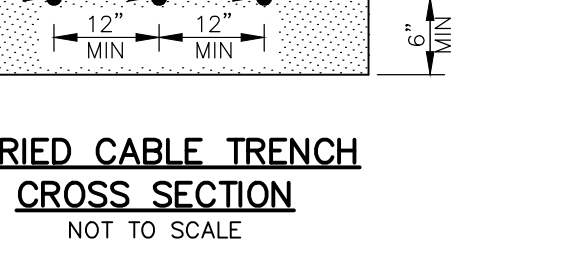
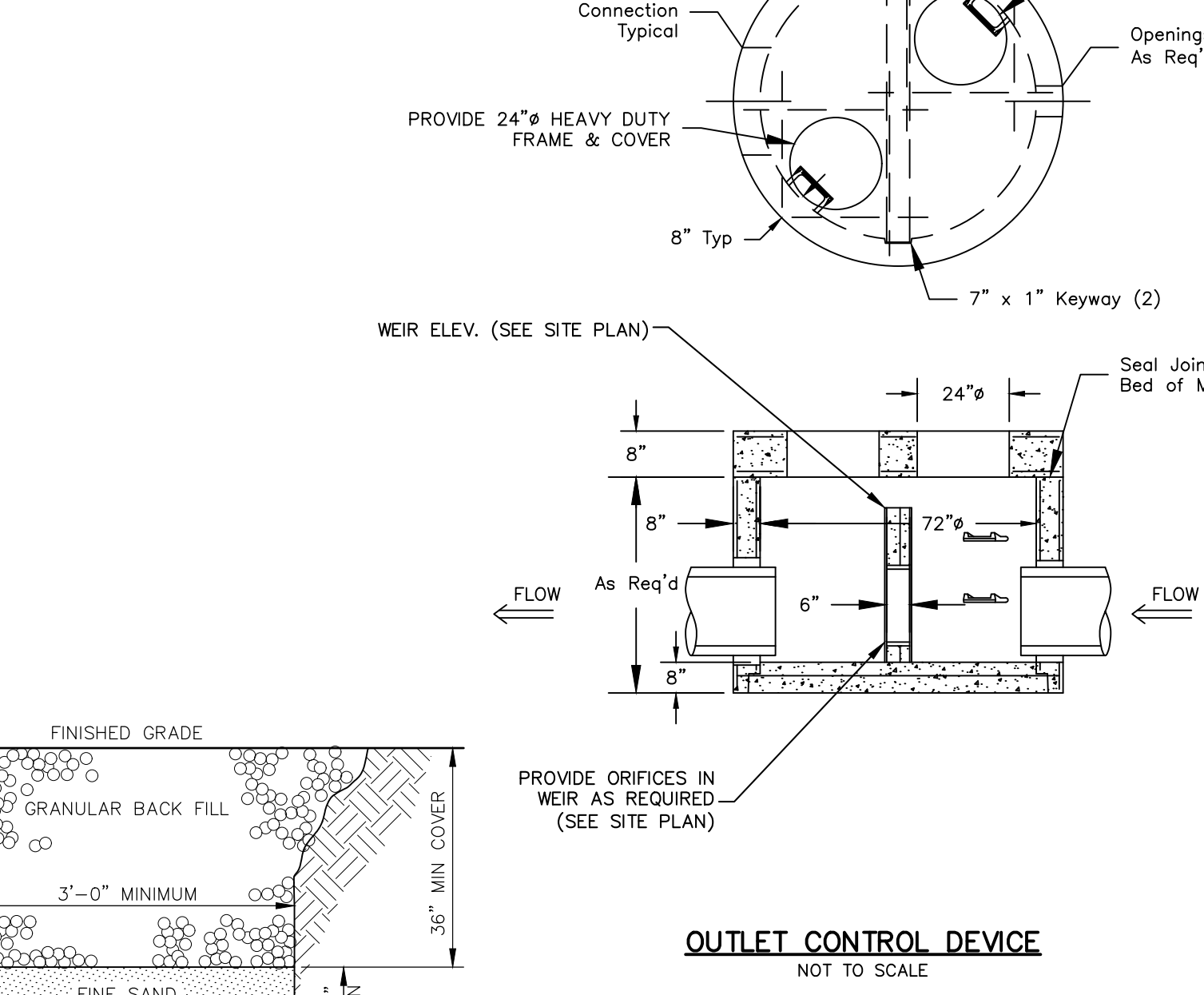
#### STANDARD FRAME AND COVER NTS

NOTE: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF FRAME AND COVER SHOWING CASTING FOR APPROVAL  
DRAINAGE MANHOLE SHALL HAVE "DRAINAGE" OR "STORM" IMPRINTED ON COVER  
SEWER MANHOLE SHALL HAVE "SEWER" IMPRINTED ON COVER

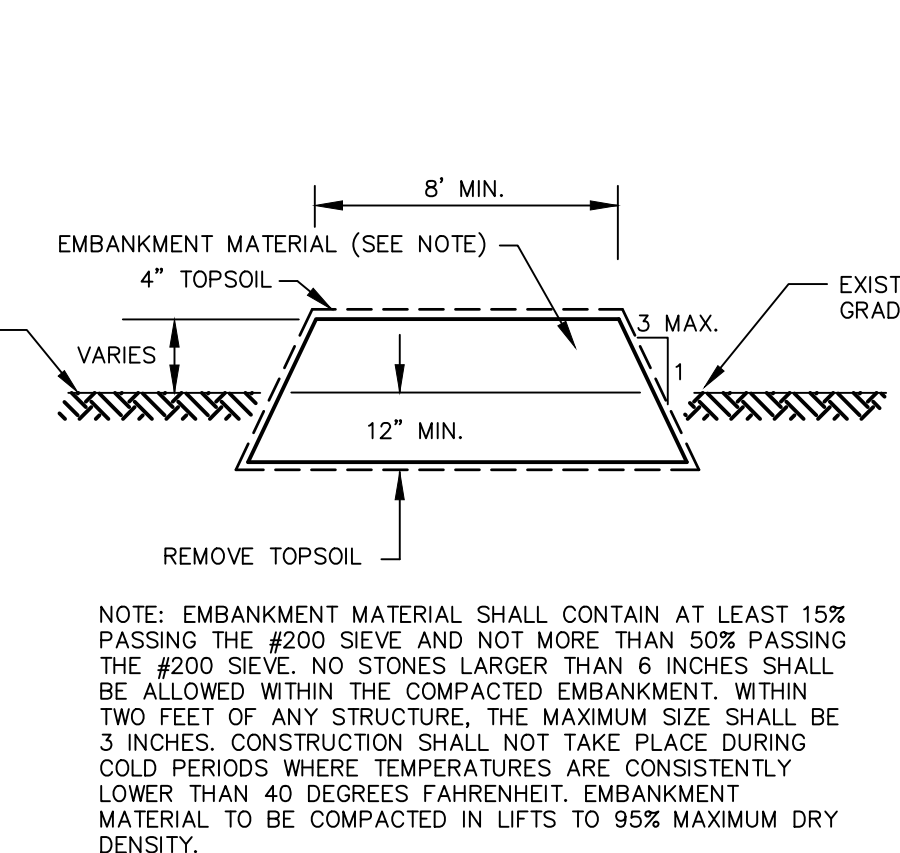
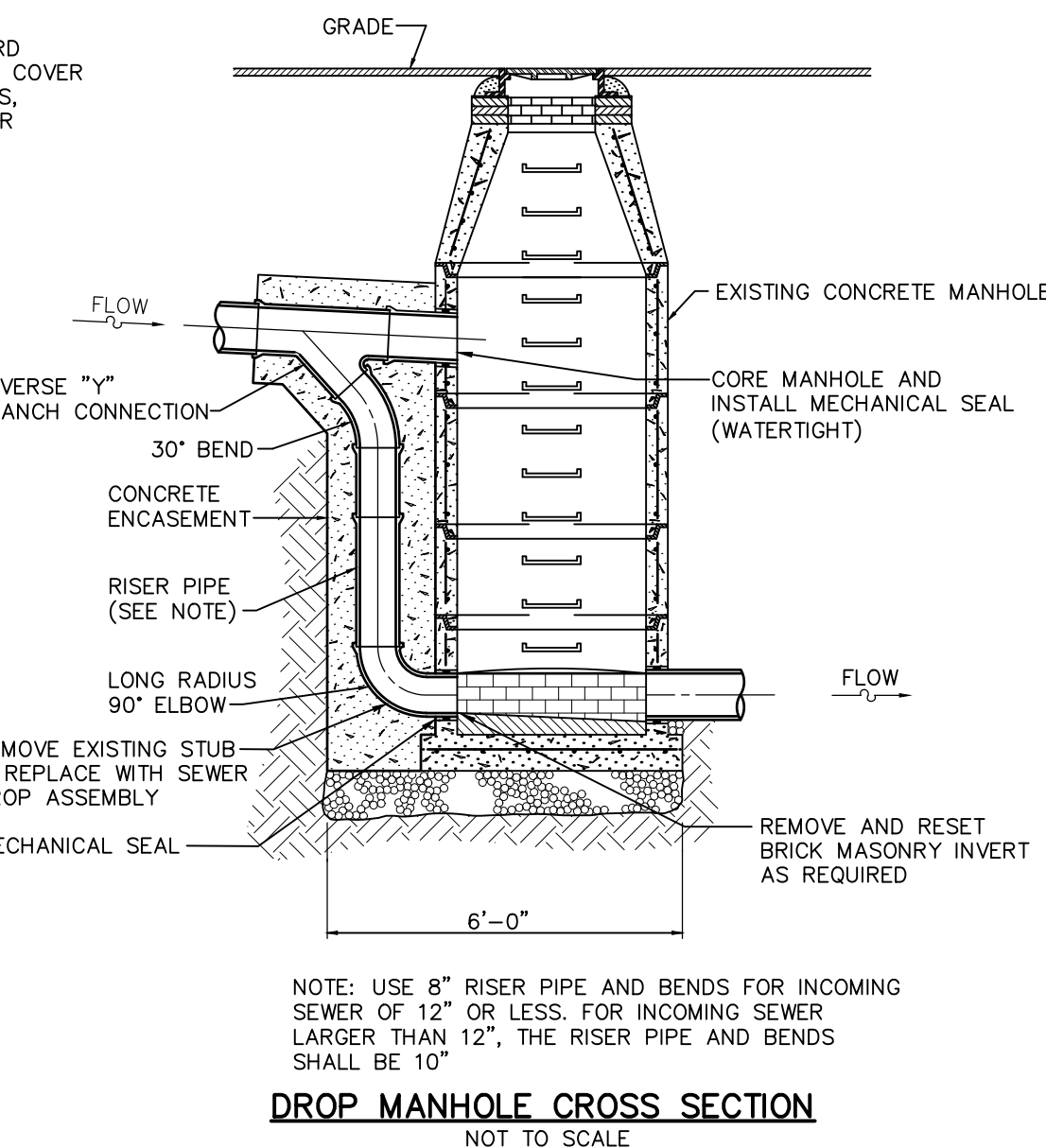


- NOTES:
- SAND/TOPSOIL/COMPOST MIXTURE SHALL NOT BE COMPACTED AND THE ENTIRE WATER QUALITY BASIN SHALL BE PROTECTED FROM HEAVY EQUIPMENT TRAFFIC THROUGHOUT CONSTRUCTION.
  - THE CONTRACTOR SHALL BE LIABLE FOR THE REPLACEMENT OF THE SAND/TOPSOIL/COMPOST MIXTURE IF E&S CONTROLS ARE NOT INSTALLED & MAINTAINED AS INDICATED.

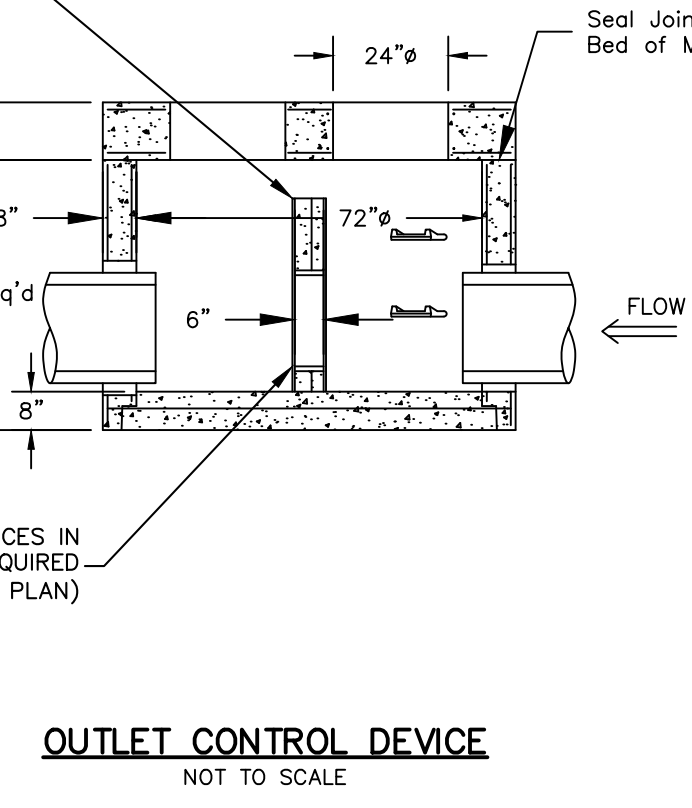
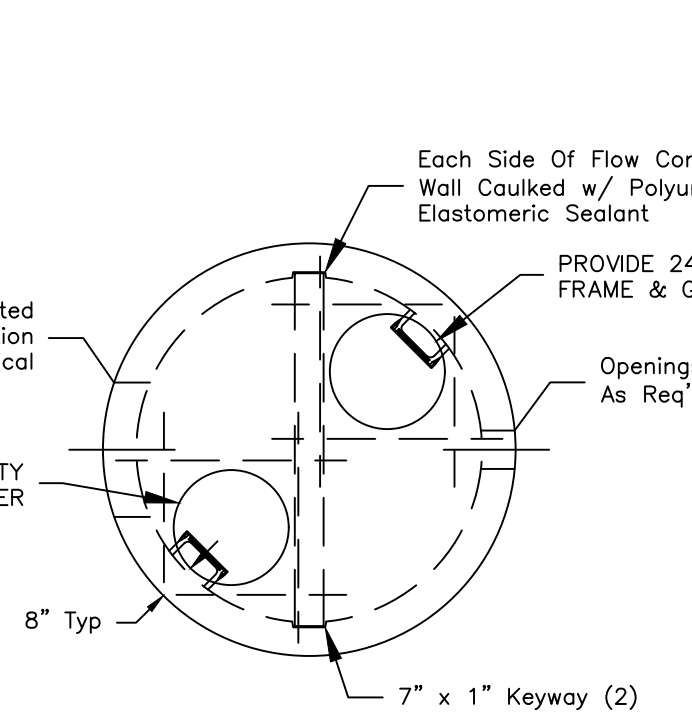
#### WATER QUALITY BASIN NOT TO SCALE



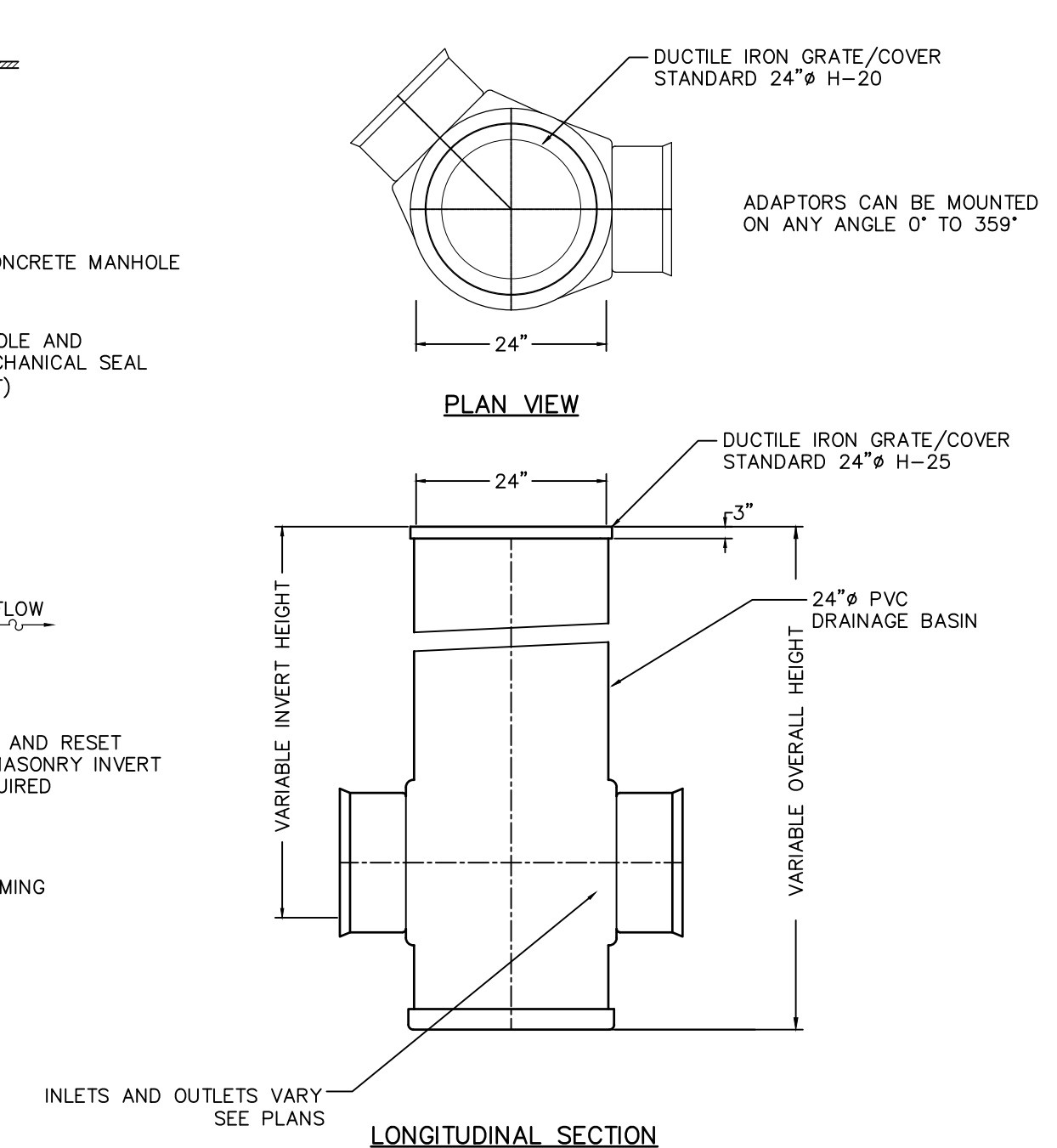
#### BURIED CABLE TRENCH CROSS SECTION NOT TO SCALE



#### EARTH BERM DETAIL NTS

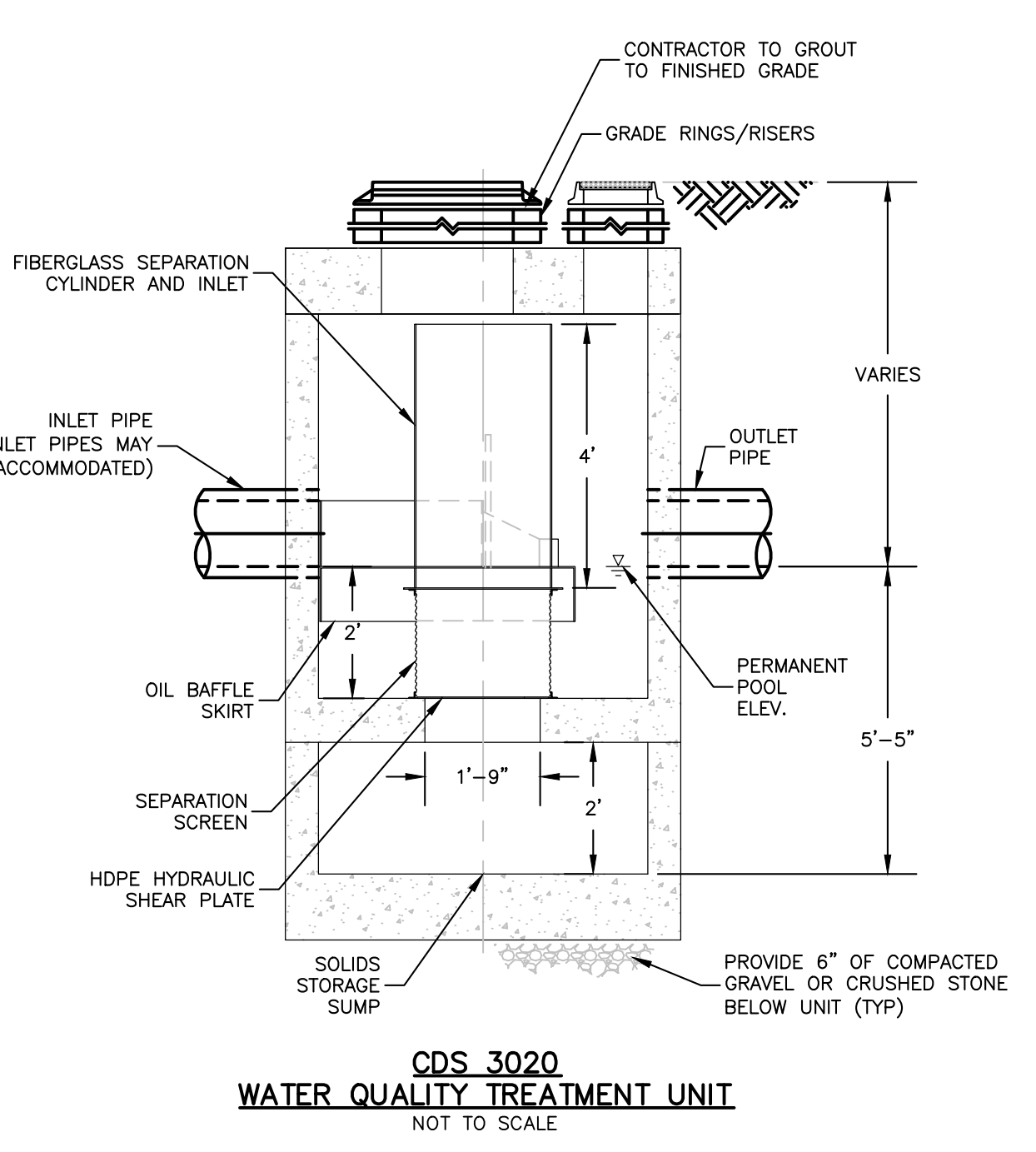
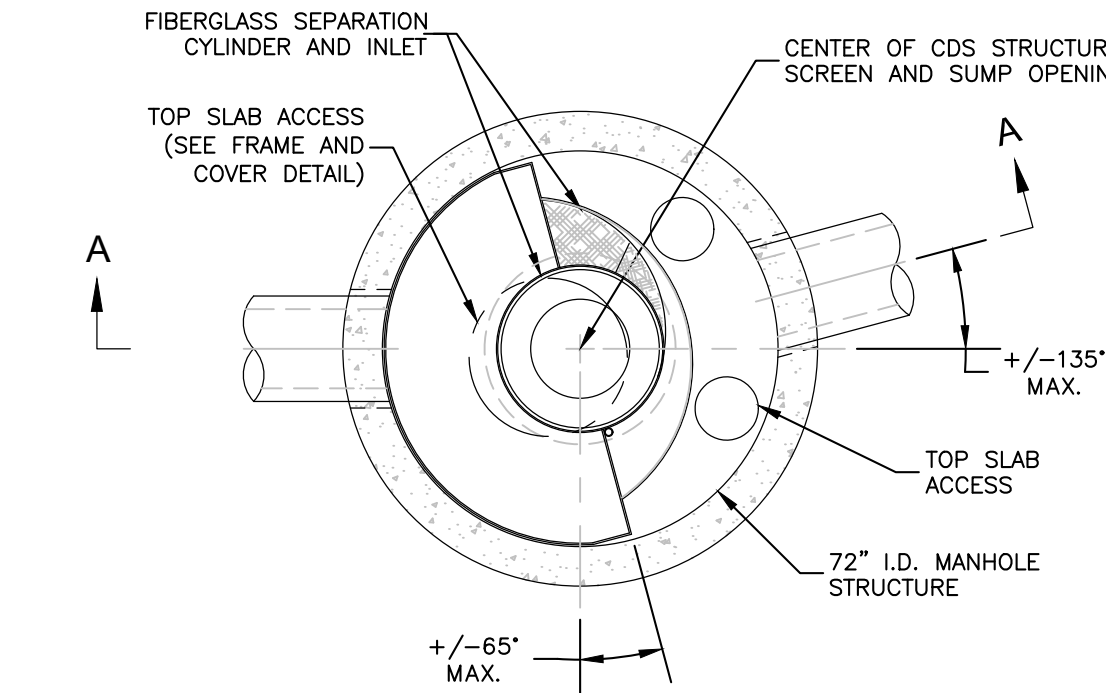


- NOTES:
- MANHOLE SECTIONS TO BE MANUFACTURED TO ASTM C-478 SPECIFICATIONS.
  - REINFORCING SHOWN FOR SCHEMATIC ONLY. STRUCTURE MUST BE DESIGNED TO MEET H-20 LOADING REQUIREMENTS.
  - CONTRACTOR TO SEAL BETWEEN PRECAST WALL & BASE W/BUTYL ROPE.



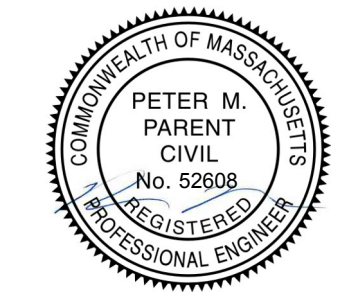
#### NYLOPLAST 24" DRAIN BASIN (YARD DRAIN) NTS

NOTE: PROVIDE POURED IN PLACE CONCRETE RING UNDER GRATE AS REQUIRED BY MANUFACTURER.



Juster Pope Frazier, LLC  
Architects and Planners  
82 North Street  
Northampton, Massachusetts 01060  
413 . 586 . 1600

Clough Harbour Associates, LLP  
Civil Engineers  
101 East River Drive, 1st Floor  
East Hartford, CT 06108  
860.290.4100



#### OWNER/APPLICANT NICHOLS COLLEGE

121 CENTER ROAD  
PO BOX 5000  
DUDLEY, MA 01571  
508-213-2217

#### TOWNHOMES

CENTER ROAD, DUDLEY, MA 01571

REVISIONS			
NO.	DATE	BY	REMARKS
1	6/30/22	PMP	REVIEW COMMENTS
2	10/3/22	PMP	REVISED SITE LAYOUT

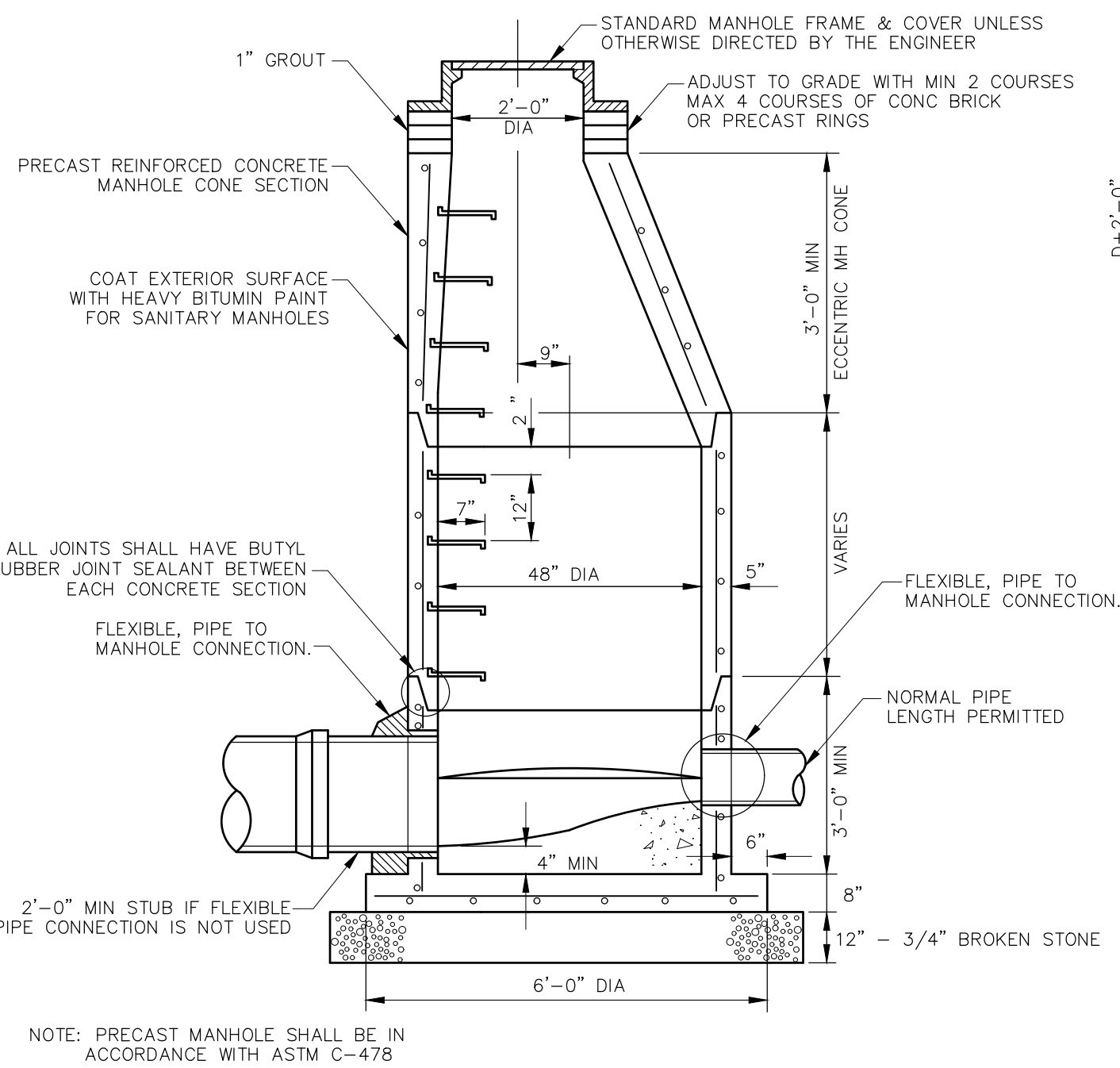
#### PLANNING BOARD SUBMISSION

#### CONSTRUCTION DETAILS

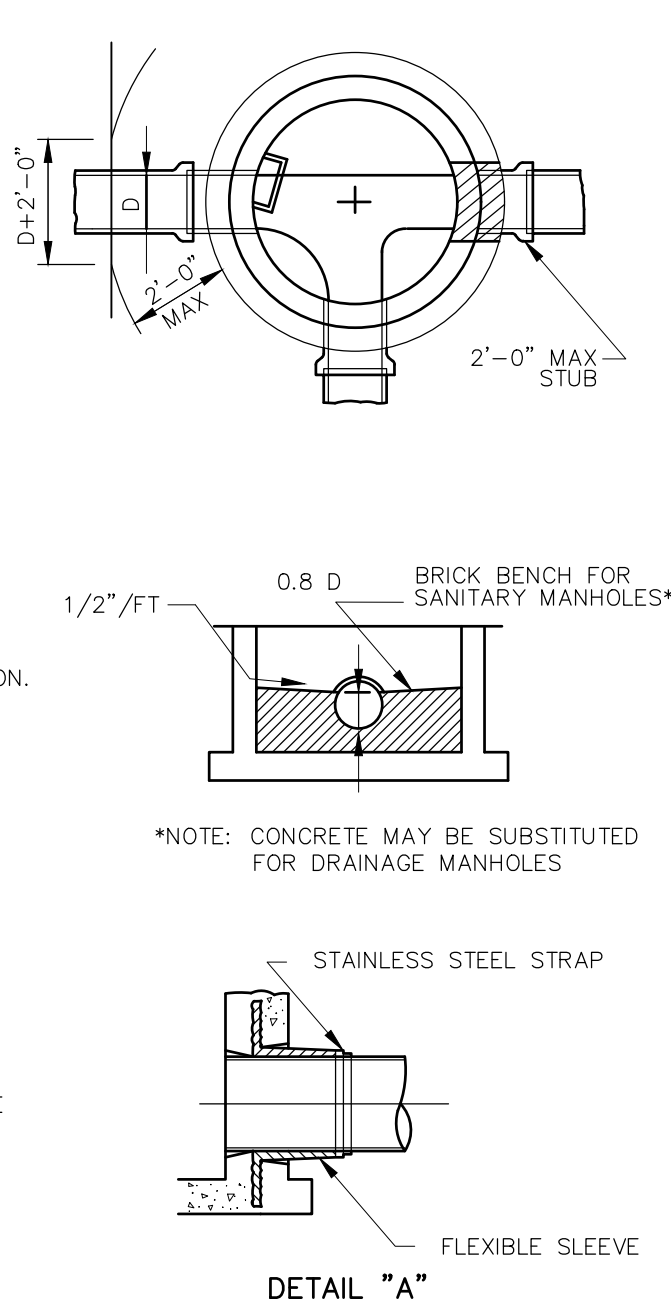
DATE	MAY 25, 2022
SCALE	AS NOTED
DRAWN BY	PMP
CHECKED BY	
SHEET NO.	

C4.1

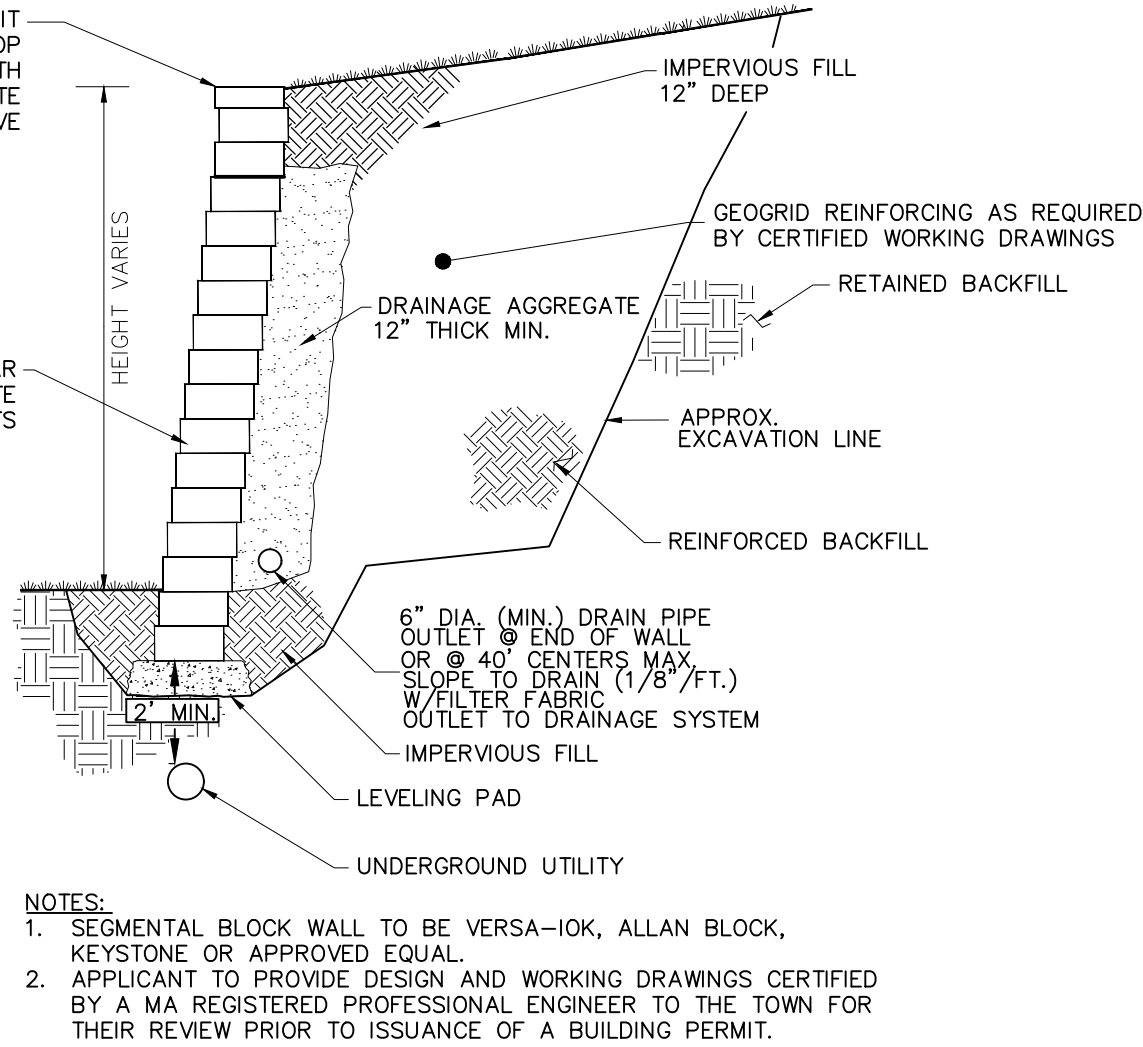




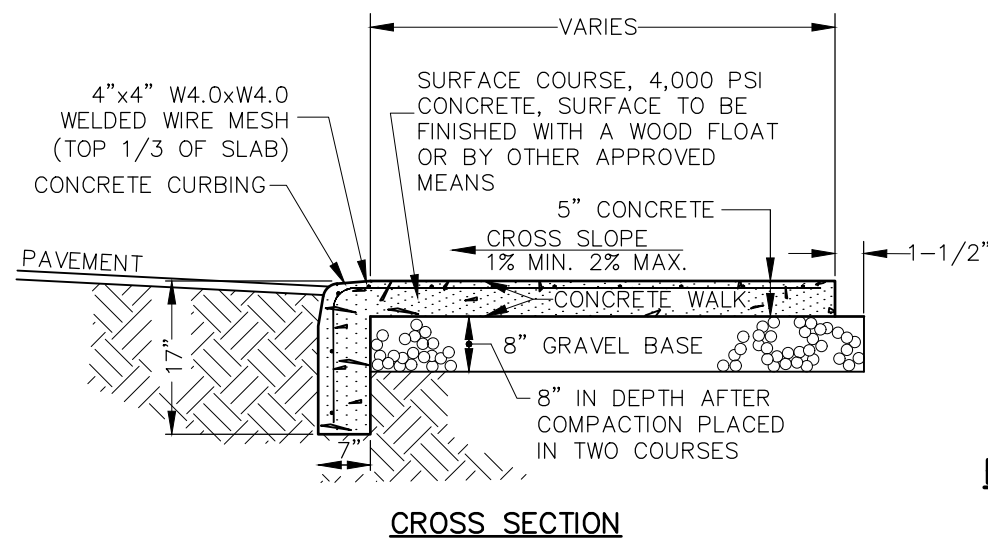
STANDARD SANITARY MANHOLE DETAIL  
NOT TO SCALE



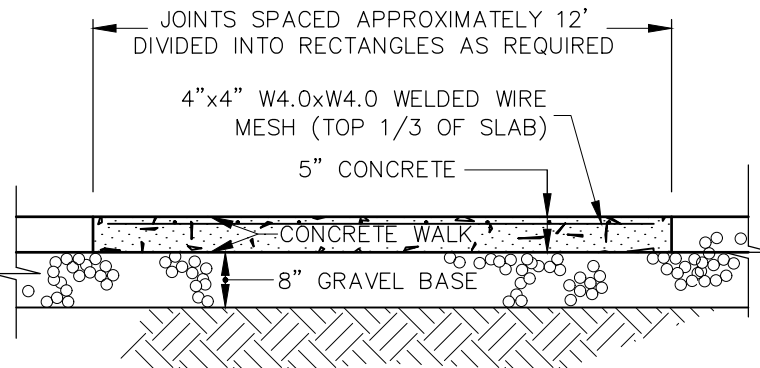
DETAIL "A"



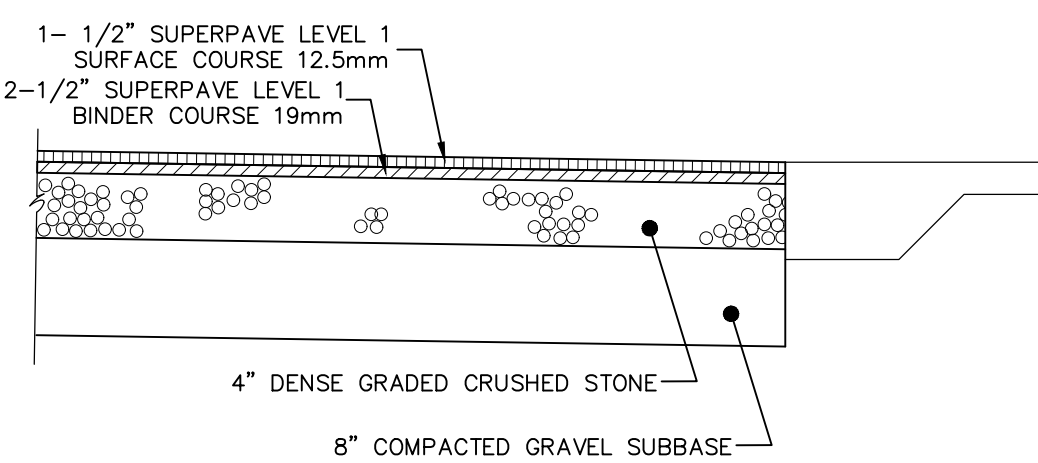
TYPICAL SECTION-REINFORCED RETAINING WALL  
MODULAR CONCRETE UNIT  
NTS



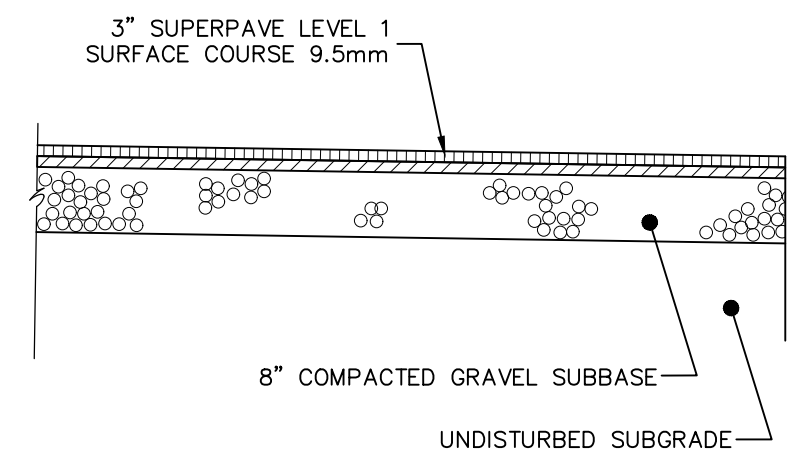
CROSS SECTION  
5" CONCRETE SIDEWALK WITH FLUSH CONCRETE CURBING  
NOT TO SCALE



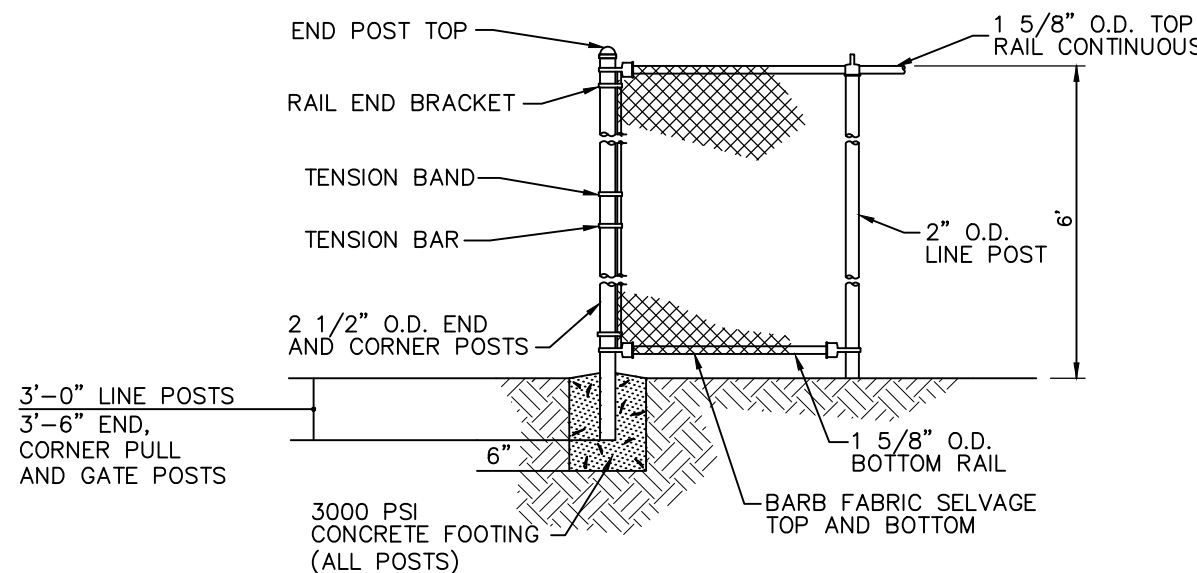
LONGITUDINAL SECTION



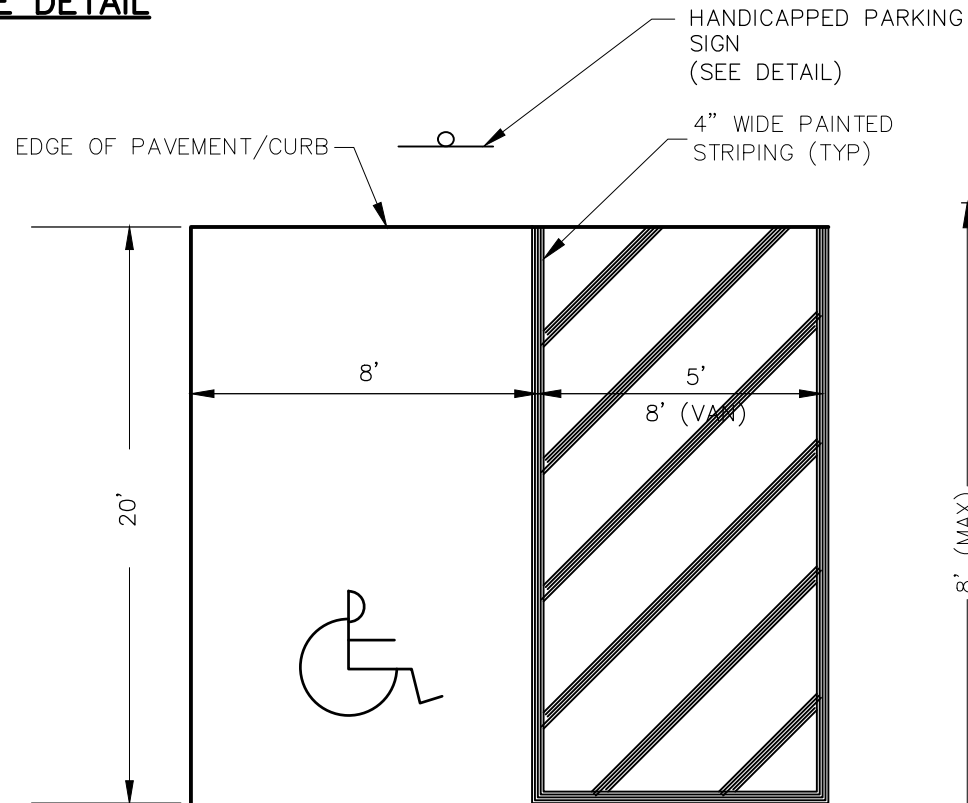
BITUMINOUS CONCRETE PAVEMENT (PARKING & DRIVEWAY)  
NOT TO SCALE



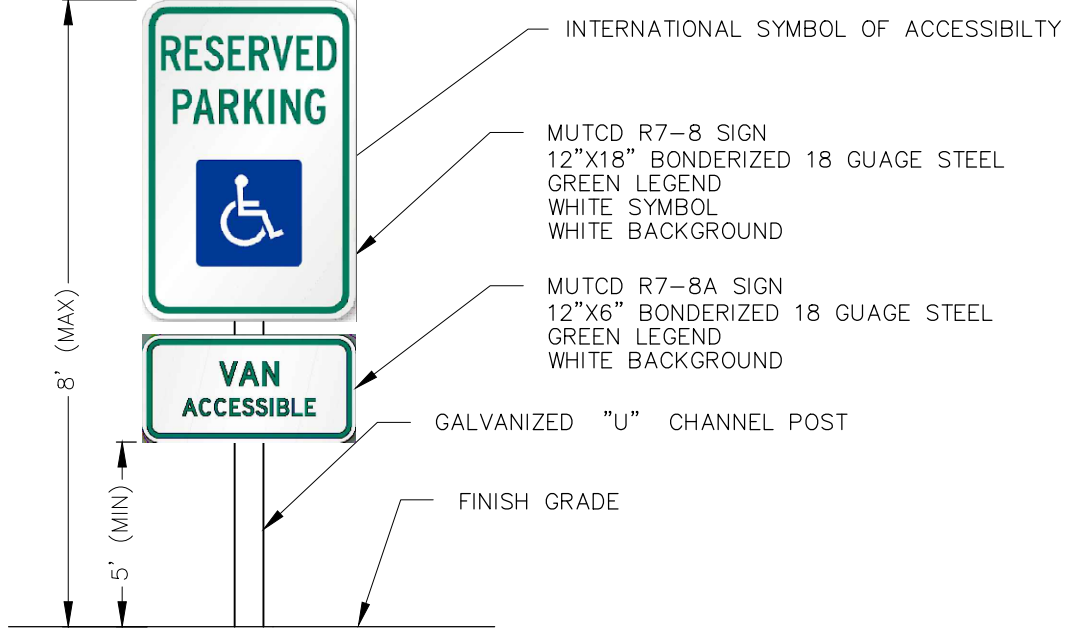
BITUMINOUS CONCRETE PAVEMENT (SIDEWALK)  
NOT TO SCALE



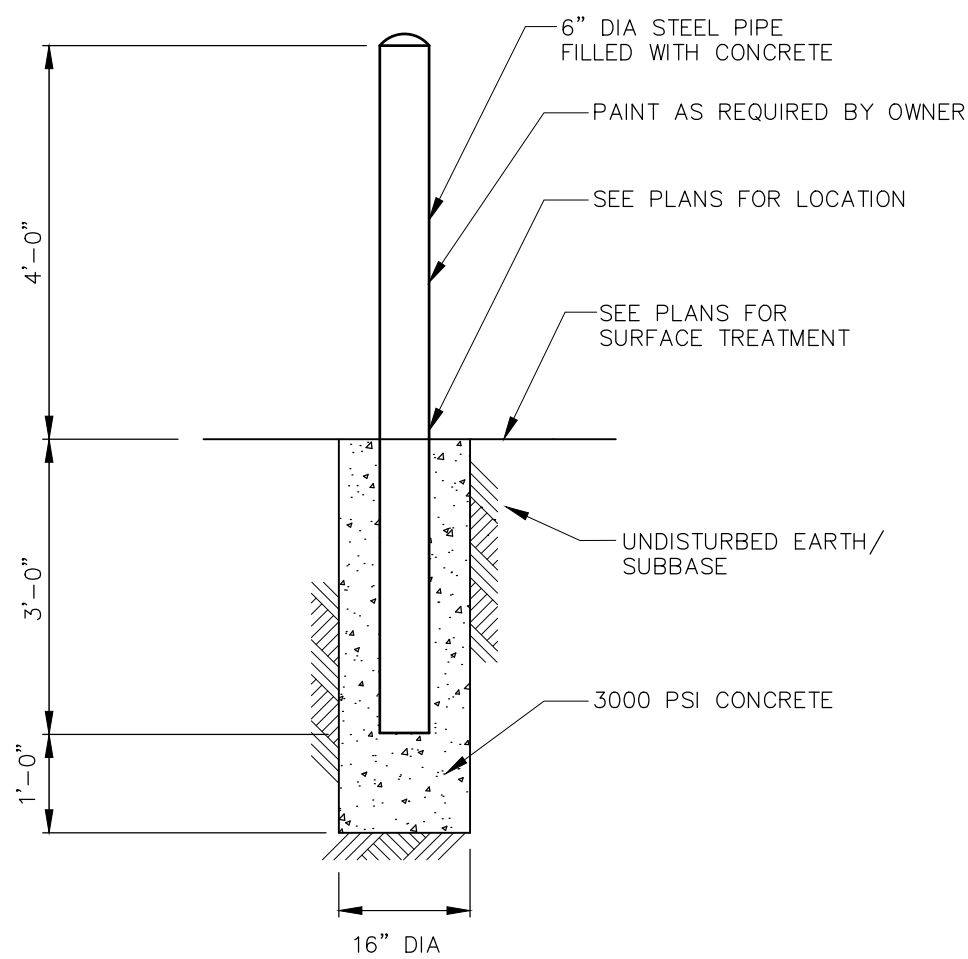
TYPICAL CHAIN LINK FENCING  
NOT TO SCALE



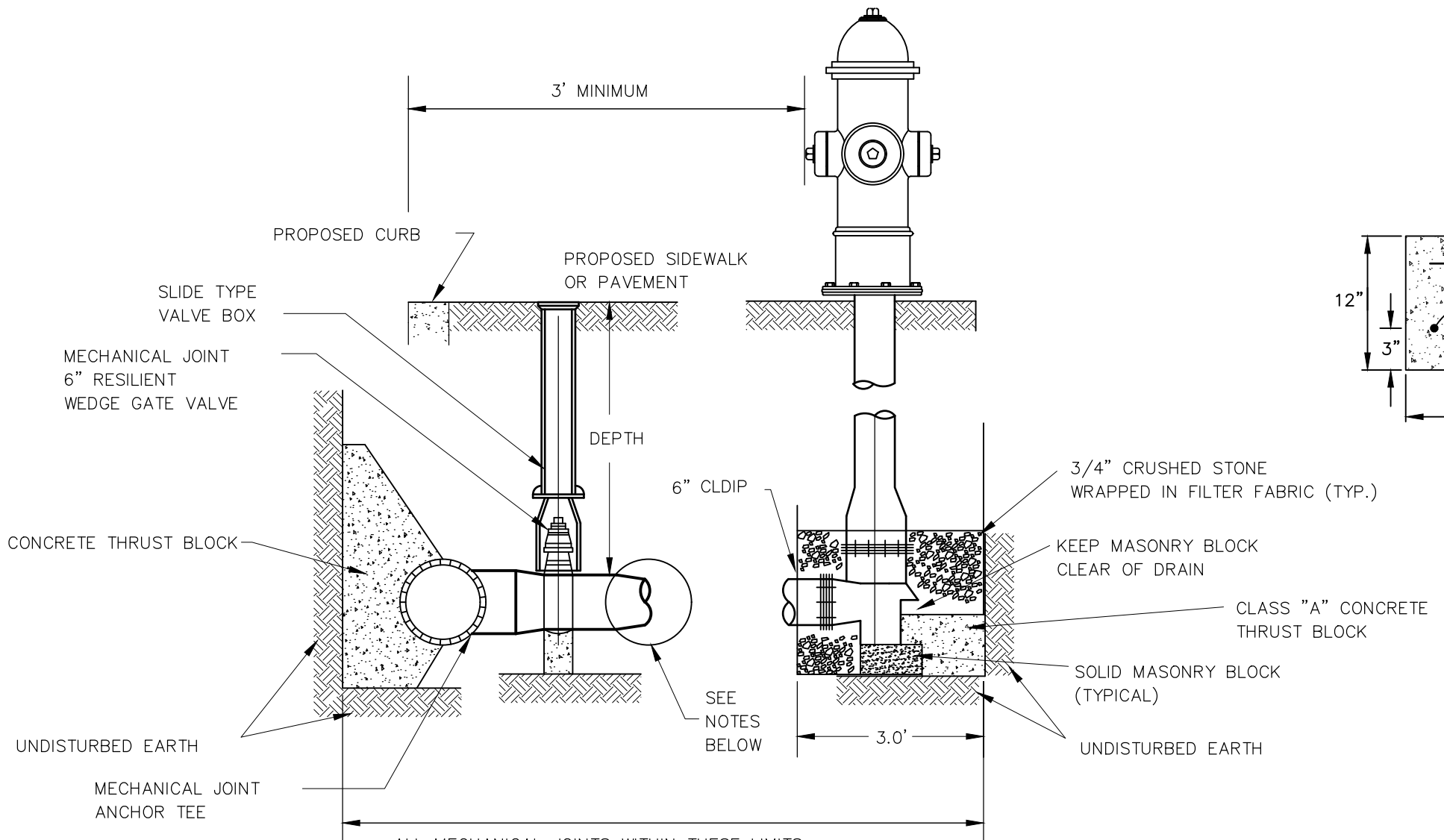
HANDICAP PARKING LAYOUT  
NOT TO SCALE



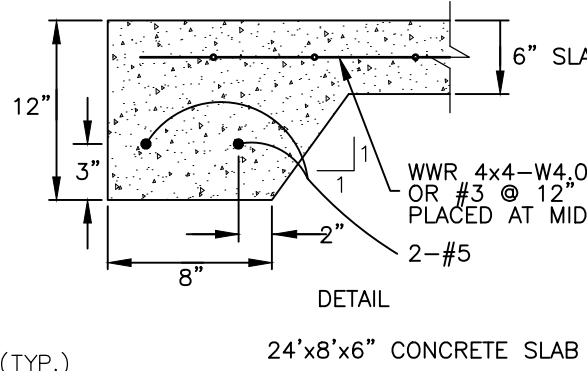
HANDICAPPED PARKING SIGN  
NOT TO SCALE



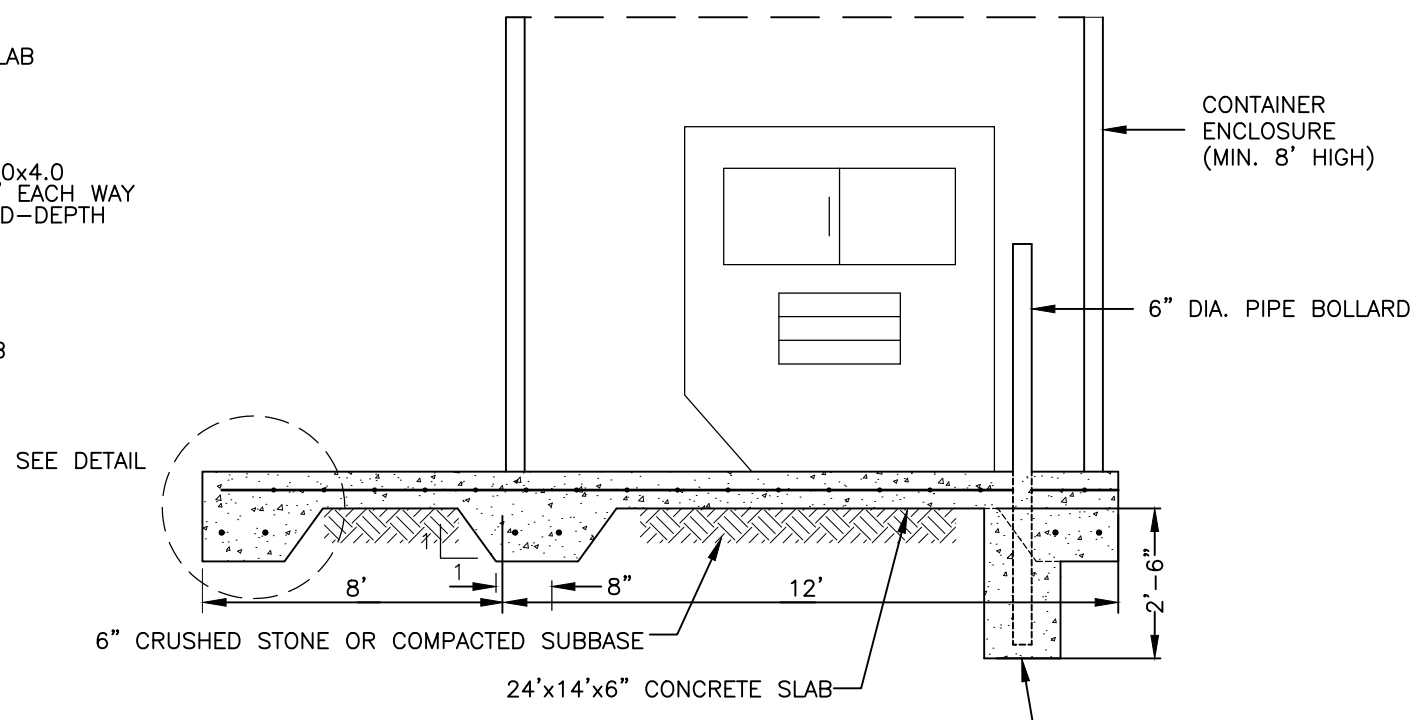
6" BOLLARD-STEEL  
NOT TO SCALE



HYDRANT DETAIL  
NOT TO SCALE

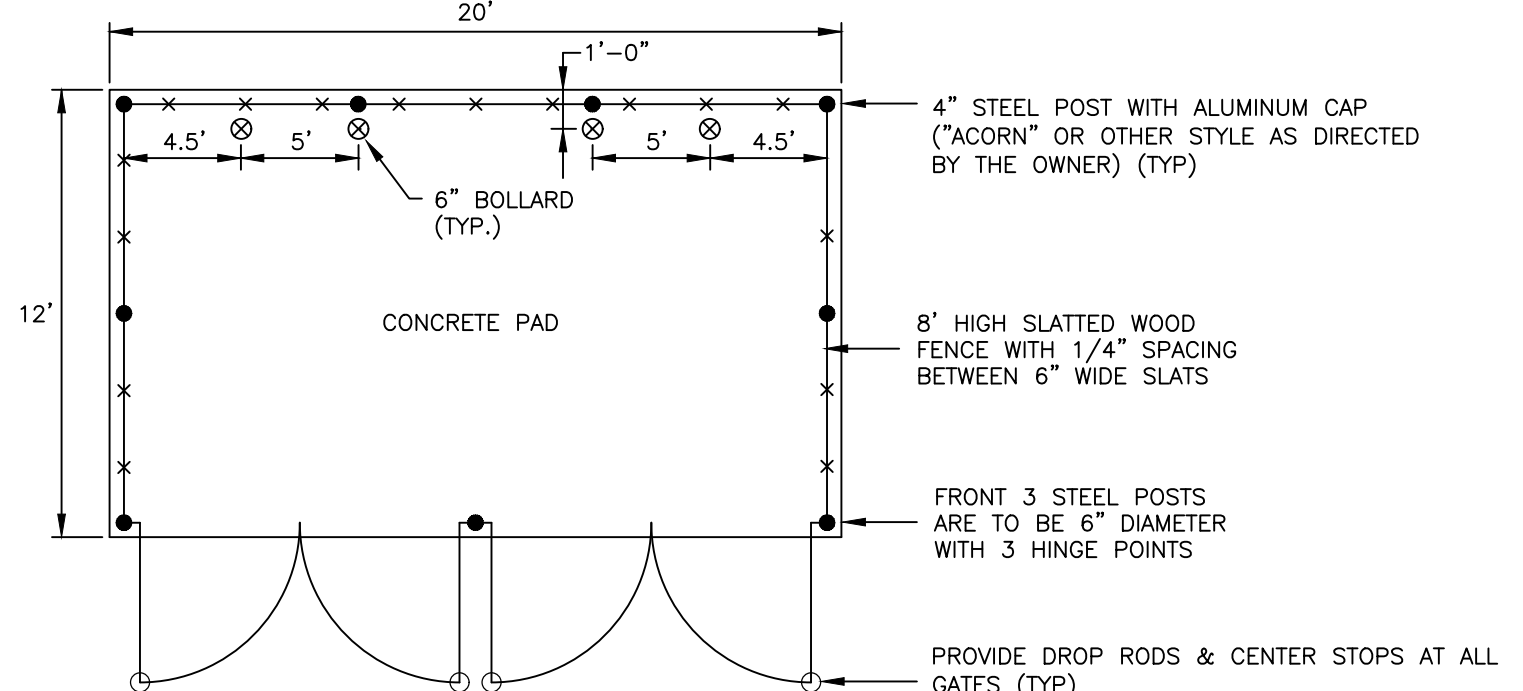


DETAIL



DUMPSTER PAD SLAB SECTION  
NOT TO SCALE

- NOTES:
- 1.) GATE POSTS AND BOLLARDS SHALL BE SET IN PLACE PRIOR TO CASTING SLAB.
  - 2.) ENTIRE SLAB SHALL BE CAST ON MINIMUM OF 6" CRUSHED STONE OR COMPACTED GRAVEL.
  - 3.) CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AND SHALL BE PLACED IN ACCORDANCE WITH ACI 318-02.
  - 4.) WELDED WIRE REINFORCEMENT SHALL CONFORM TO ASTM A 185.
  - 5.) STEEL REINFORCING SHALL HAVE A YIELD STRENGTH OF 60ksi.



DUMPSTER ENCLOSURE DETAIL  
NTS

- NOTES:
- 1.) GATE TO BE REINFORCED WITH GALVANIZED STEEL TUBING AND SHEATHED WITH MATERIALS CONSISTENT IN TYPE AND COLOR TO THE REMAINDER OF THE DUMPSTER ENCLOSURE.
  - 2.) GATE POSTS AND BOLLARDS SHALL BE SET IN PLACE PRIOR TO CASTING SLAB.
  - 3.) ENTIRE SLAB SHALL BE CAST ON MINIMUM OF 6" CRUSHED STONE OR COMPACTED GRAVEL.
  - 4.) CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AND SHALL BE PLACED IN ACCORDANCE WITH ACI 318-02.
  - 5.) WELDED WIRE REINFORCEMENT SHALL CONFORM TO ASTM A 185.
  - 6.) STEEL REINFORCING SHALL HAVE A YIELD STRENGTH OF 60ksi.

Juster Pope Frazier, LLC  
Architects and Planners  
82 North Street  
Northampton, Massachusetts 01060  
413 . 586 . 1600

Clough Harbour Associates, LLP  
Civil Engineers  
101 East River Drive, 1st Floor  
East Hartford, CT 06108  
860.290.4100



OWNER/APPLICANT  
**NICHOLS COLLEGE**

121 CENTER ROAD  
PO BOX 5000  
DUDLEY, MA 01571  
508-213-2217

**TOWNHOMES**

CENTER ROAD, DUDLEY, MA 01571

REVISIONS

NO.	DATE	BY	REMARKS
1	6/30/22	PMP	REVIEW COMMENTS
2	10/3/22	PMP	REVISED SITE LAYOUT

SET

**PLANNING BOARD  
SUBMISSION**

SHEET TITLE

**CONSTRUCTION  
DETAILS**

DATE MAY 25, 2022

SCALE AS NOTED

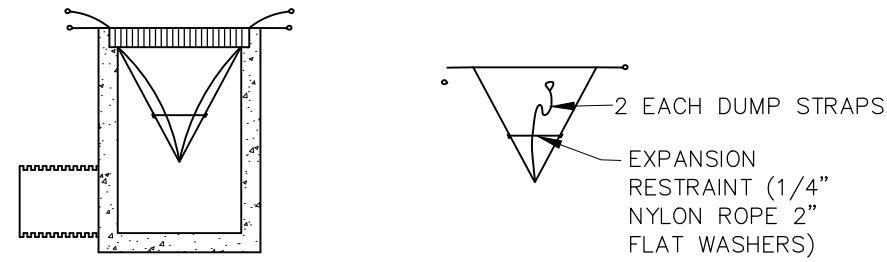
DRAWN BY PMP

CHECKED BY

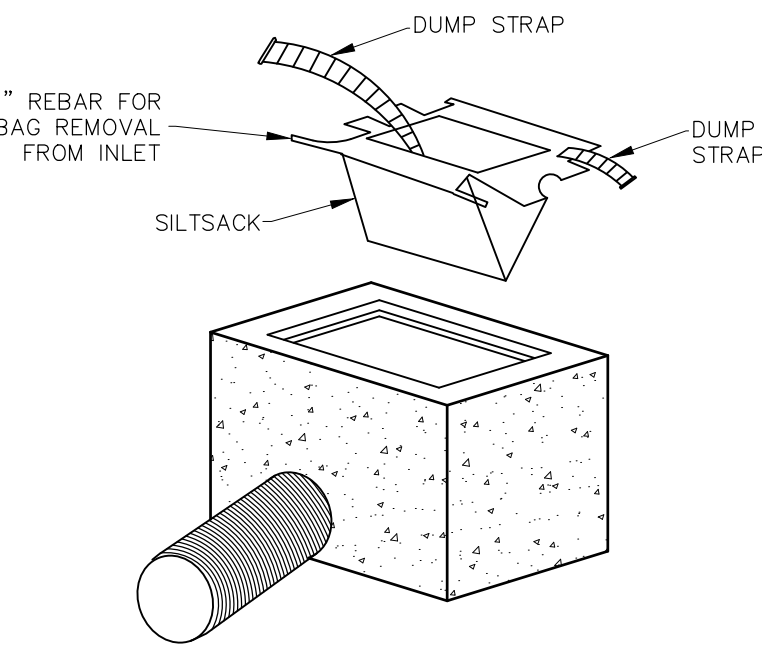
SHEET NO.

C4.2

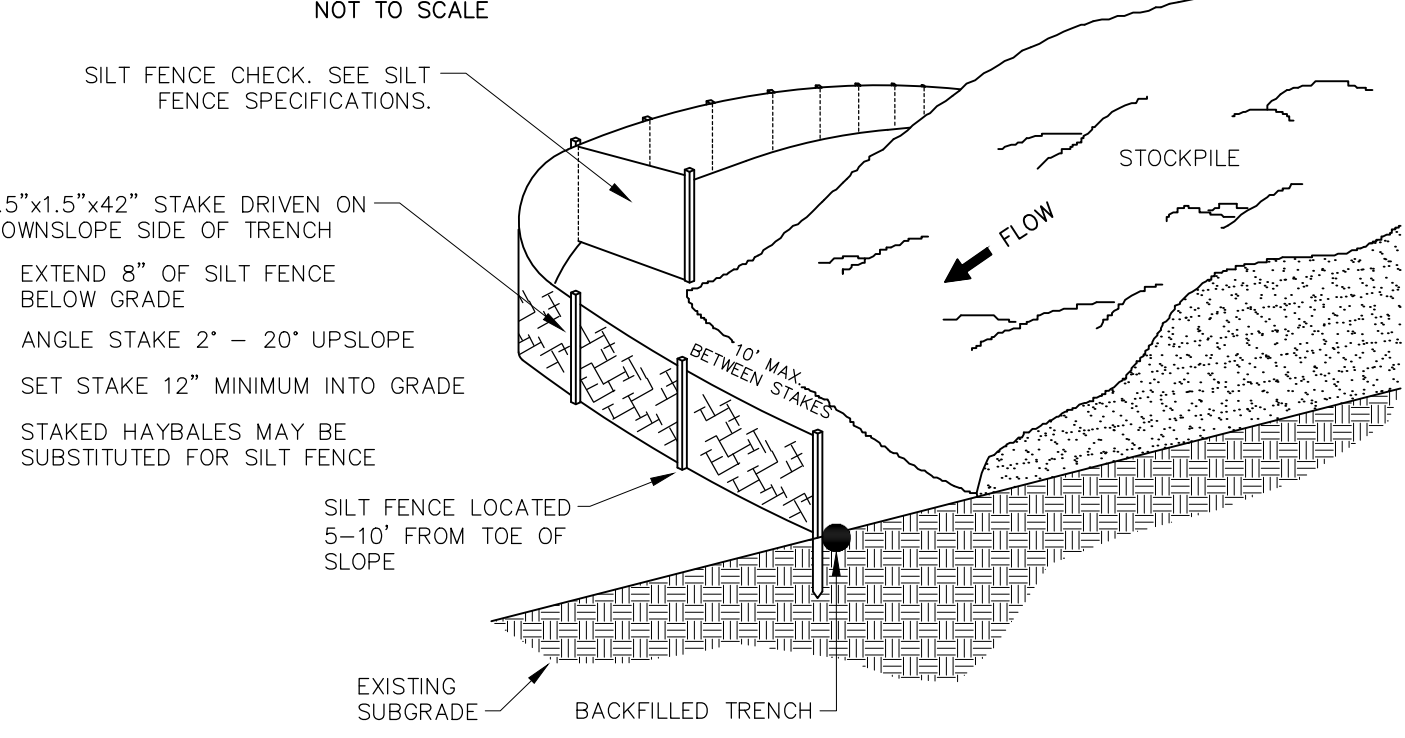




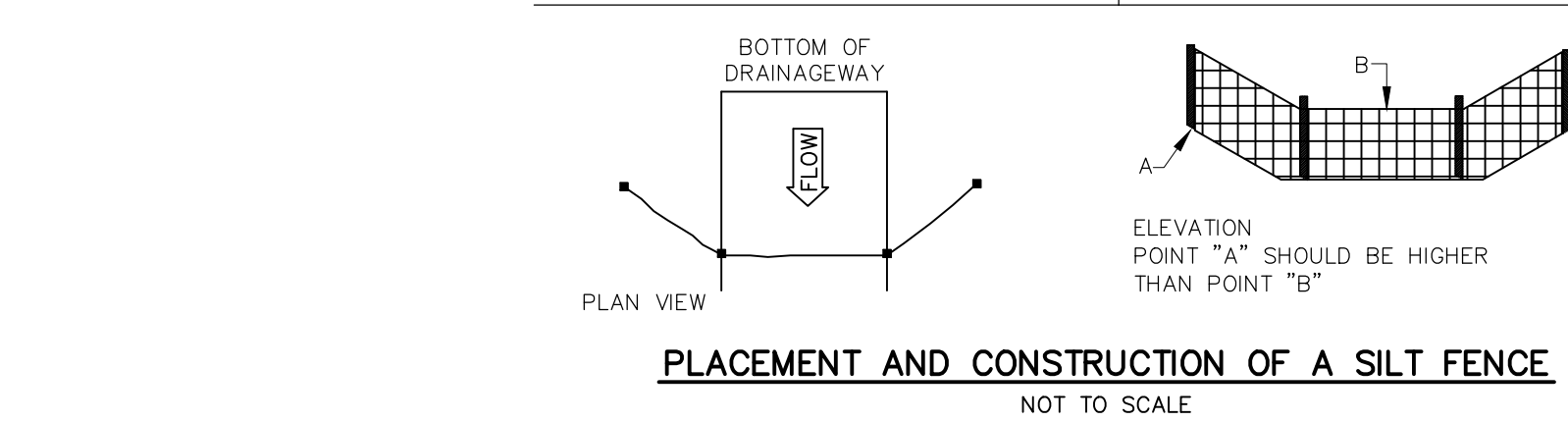
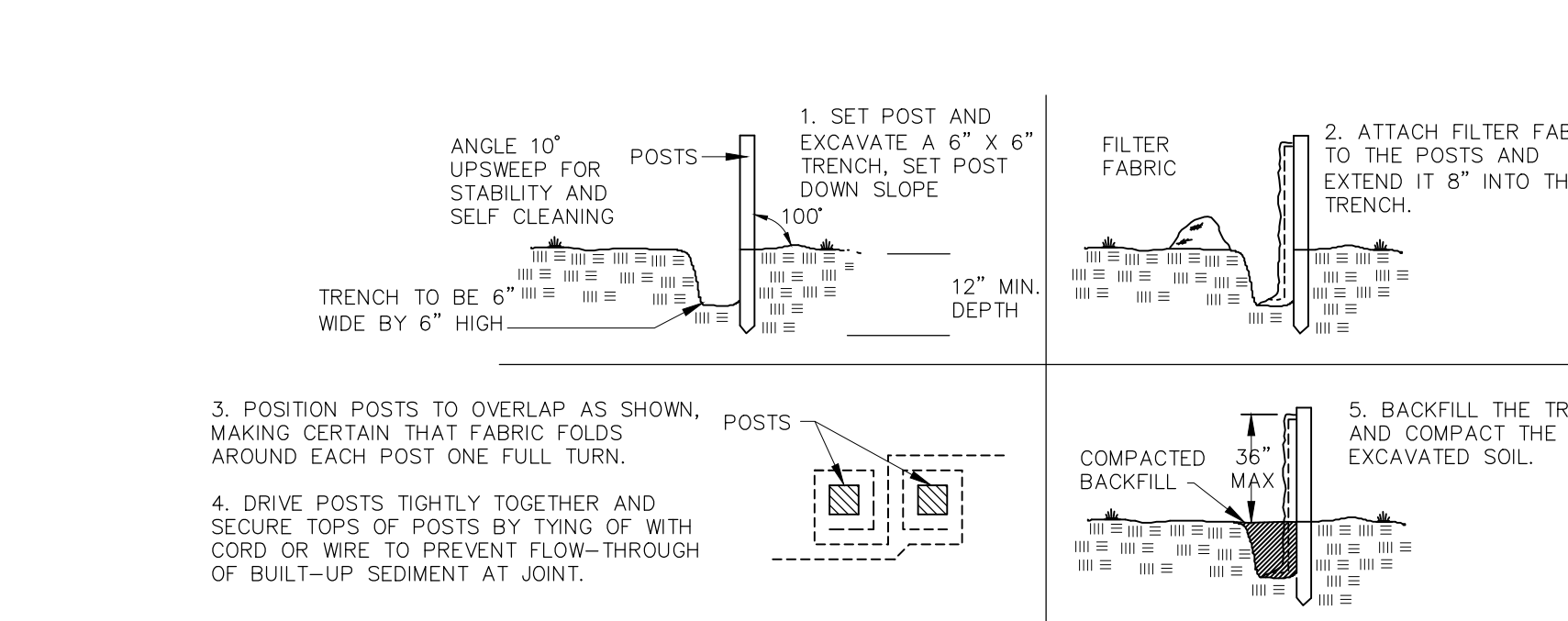
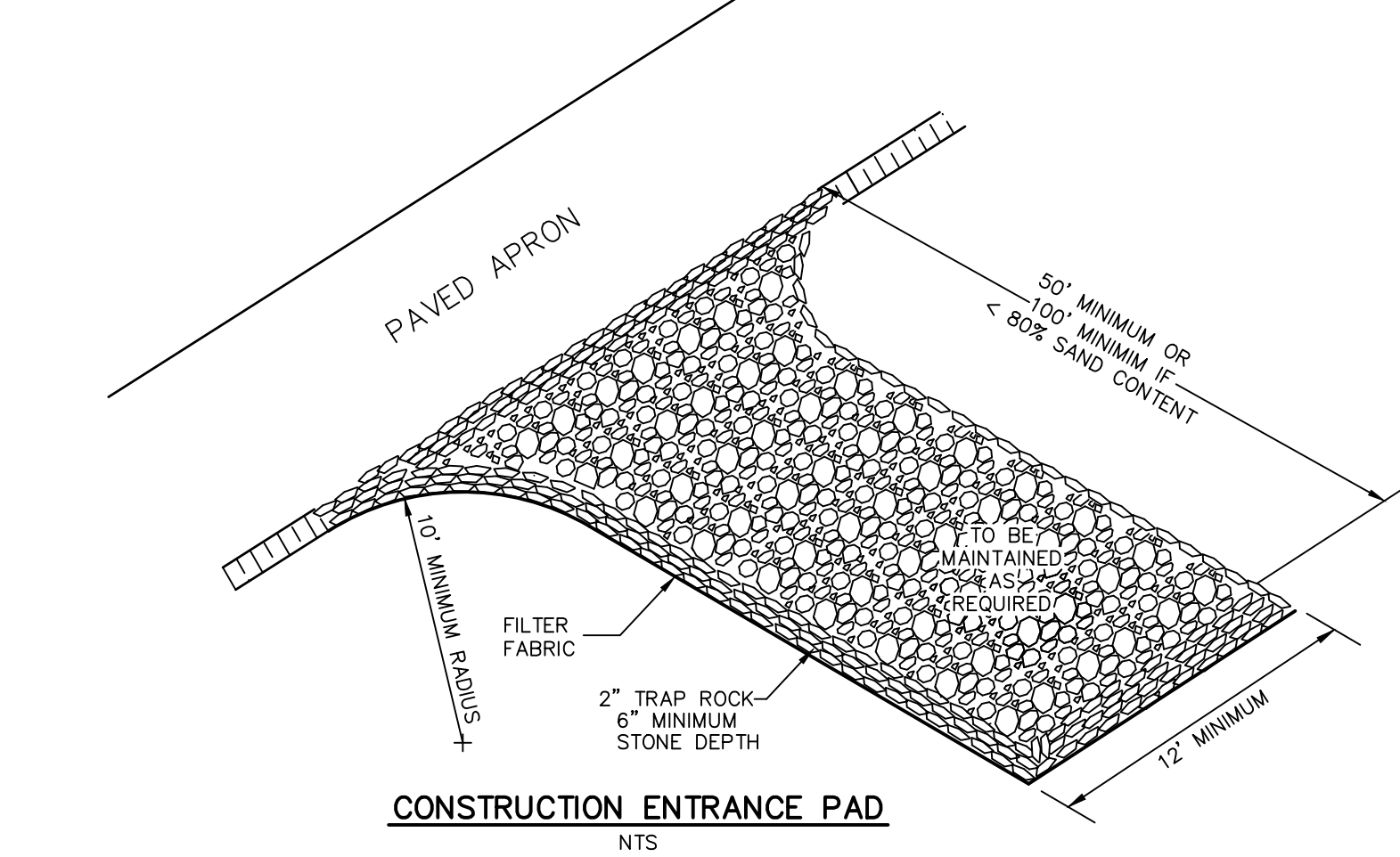
INSTALLATION DETAIL BAG DETAIL



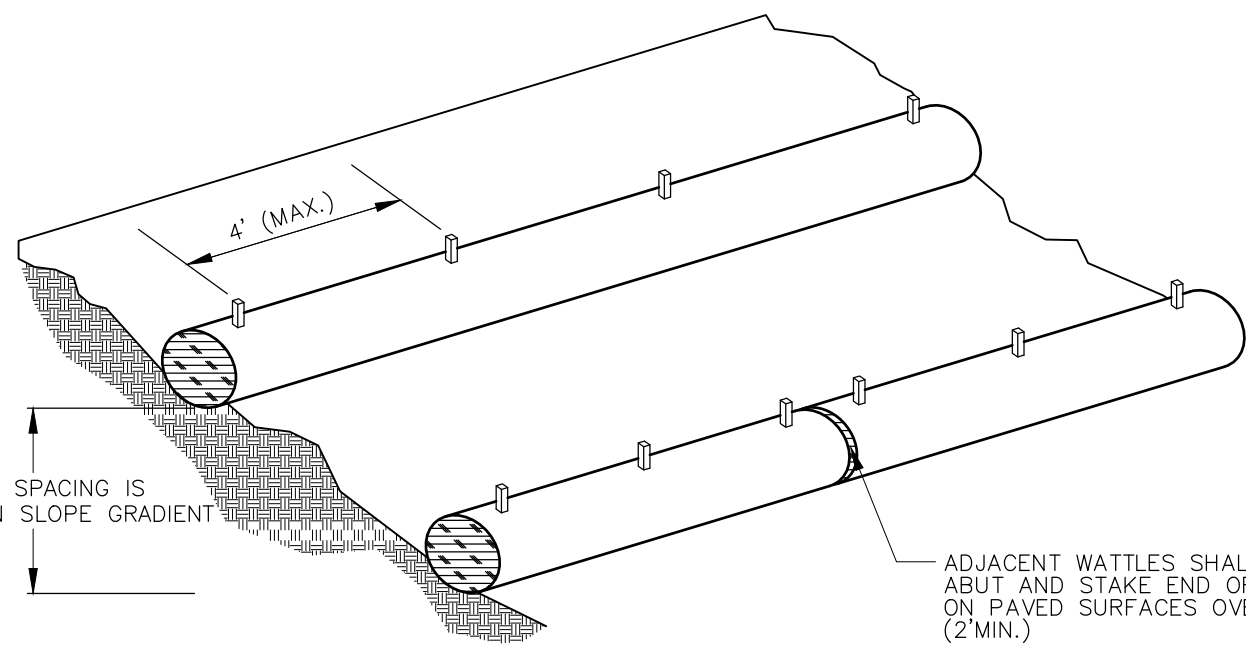
INLET SEDIMENT CONTROL DEVICE



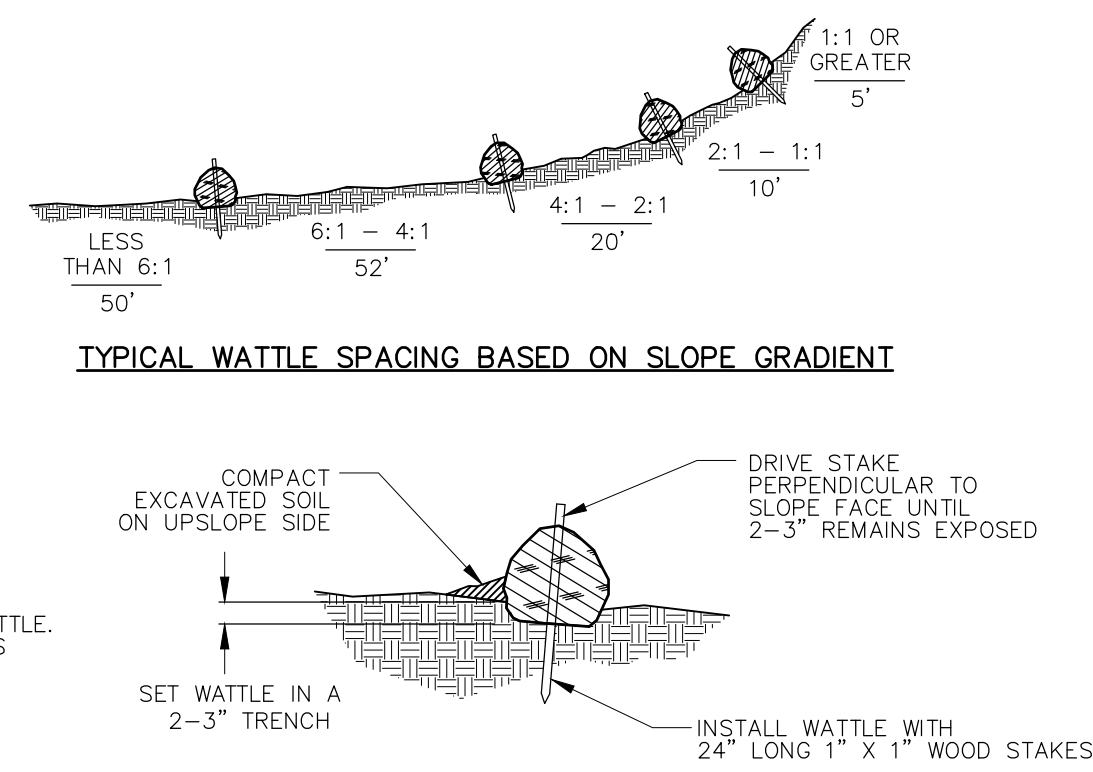
SILT FENCE AT TOE OF SLOPE APPLICATION



EROSION AND SEDIMENTATION CONTROL DETAILS



TYPICAL WATTLE INSTALLATION GUIDE



STRAW WATTLE INSTALLATION

Juster Pope Frazier, LLC  
Architects and Planners  
82 North Street  
Northampton, Massachusetts 01060  
413.586.1600

Clough Harbour Associates, LLP  
Civil Engineers  
101 East River Drive, 1st Floor  
East Hartford, CT 06108  
860.290.4100



OWNER/APPLICANT  
**NICHOLS COLLEGE**

121 CENTER ROAD  
PO BOX 5000  
DUDLEY, MA 01571  
508-213-2217

**TOWNHOMES**

CENTER ROAD, DUDLEY, MA 01571

REVISIONS

NO.	DATE	BY	REMARKS
1	6/30/22	PMP	REVIEW COMMENTS
2	10/3/22	PMP	REVISED SITE LAYOUT

SET

PLANNING BOARD  
SUBMISSION

SHEET TITLE

EROSION & SEDIMENT  
CONTROL PLAN

DATE MAY 25, 2022

SCALE AS NOTED

DRAWN BY PMP

CHECKED BY

SHEET NO.

C5.1



EROSION AND SEDIMENTATION CONTROL NARRATIVE & NOTES

PROJECT NARRATIVE

THIS PROJECT CONSISTS OF CONSTRUCTING TWO NEW STUDENT HOUSING RESIDENCES ON AT THE SOUTH END OF THE NICHOLS COLLEGE CAMPUS IN DUDLEY, MASSACHUSETTS. THE LOCATION OF THE SITE IS ON THE WEST SIDE OF CENTER ROAD APPROXIMATELY 1,500' SOUTH OF ITS INTERSECTION WITH HEALY ROAD. THIS PROJECT WILL CONSIST OF TWO NEW RESIDENCES, ASSOCIATED PARKING AND ACCESS DRIVEWAYS, CONCRETE SIDEWALKS, RETAINING WALLS, DRAINAGE PIPING AND STRUCTURES, AND UNDERGROUND UTILITIES.

IT IS ANTICIPATED THAT APPROXIMATELY 4 ACRES OF THE 25.6 ACRE SITE WILL BE DISTURBED DURING THE CONSTRUCTION OF THE FACILITY.

THE PROJECT SHALL BE DEVELOPED IN A SINGLE PHASE, HOWEVER, DISTURBED AREAS SHALL BE STABILIZED AT MILESTONE POINTS DURING CONSTRUCTION. ALL WORK SHALL BE SCHEDULED SUCH THAT STABILIZATION COINCIDES WITH THE ABILITY TO VEGETATE DISTURBED AREAS, APRIL 1 THROUGH JUNE 15 AND AUGUST 15 THROUGH OCTOBER 1.

THIS PROJECT REQUIRES THE FOLLOWING PERMITS:  
PLANNING & ZONING MAJOR SITE PLAN REVIEW

ESTIMATED CONSTRUCTION SCHEDULE

- A. INSTALL EROSION AND SEDIMENT CONTROL SYSTEMS – APRIL 2023
- B. ROUGH GRADE SITE – MAY 2023
- C. INSTALL STORMWATER AND UTILITY SYSTEMS – MAY THRU AUGUST 2023
- D. CONSTRUCT BUILDING STRUCTURES – MAY 2023 THRU AUGUST 2024
- E. FINISH GRADE SITE AND INSTALL LANDSCAPING – JUNE/JULY 2024

GENERAL NOTES

- A. ELEVATIONS ARE BASED ON AN ASSUMED DATUM.
- B. ALL UTILITIES SHALL BE APPROVED BY LOCAL UTILITY COMPANIES PRIOR TO CONSTRUCTION; ALL UTILITIES SHALL BE CONSTRUCTED TO UTILITY COMPANY SPECIFICATIONS.
- C. ALL CONSTRUCTION SHALL BE TO TOWN SPECIFICATIONS & REGULATIONS.
- D. NO CHANGES CAN BE MADE TO THESE PLANS WITHOUT THE TOWN'S APPROVAL.
- E. CONTRACTOR SHALL OBTAIN ALL REQUIRED LOCAL & STATE PERMITS PRIOR TO BEGINNING ANY CONSTRUCTION.
- F. FIELD CHANGES SHALL HAVE PRIOR APPROVAL OF THE TOWN.
- G. CATCH BASIN TOPS SHALL NOT BE CEMENTED DOWN UNTIL FINAL GRADES ARE SET.
- H. UNLESS OTHERWISE NOTED OR SPECIFIED, ALL ROADWAYS & STORM DRAINAGE SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE COMMONWEALTH OF MASSACHUSETTS, D.O.T. "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 2020". SIMILARLY PERTINENT CONSTRUCTION DETAILS THAT ARE NOT INCLUDED WITH THESE DRAWINGS SHALL CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS, D.O.T. STANDARD ROADWAY DRAWINGS.
- I. CONTRACTOR SHALL NOTIFY THE TOWN OF CONSTRUCTION SCHEDULE SO THAT INSPECTION MAY BE PROVIDED.
- J. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED ON PLANS HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY, FIELD MEASUREMENTS AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CME ASSOCIATES, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
- K. CONTACT "DIG SAFE" AT 1-888-344-7233. THREE WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.

SEEDING SPECIFICATIONS

- A. IF GROUND HAS BEEN PREVIOUSLY MULCHED, MULCH MUST BE REMOVED OR ADDITIONAL NITROGEN MUST BE ADDED.
- B. REMOVE ALL SURFACE STONES 2" OR LARGER AS WELL AS ALL DEBRIS SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLOUDS, CLUMPS, OR OTHER UNSUITABLE MATERIAL.
- C. APPLY FERTILIZER AT 7.5 POUNDS PER 1,000 SQUARE FEET AND LIME AT 200 POUNDS PER 1,000 SQUARE FEET UNLESS SOIL TESTING FOR REQUIREMENTS IS PERFORMED.
- D. NO MOWING IS TO BE UNDERTAKEN UNTIL THE MAJORITY OF THE VEGETATION IS AT LEAST 6" HIGH. MOWING SHOULD CUT THE TOP 1/3 OF VEGETATION. DO NOT UNDER ANY CIRCUMSTANCES CUT VEGETATION BELOW 3".
- E. DO NOT APPLY ANY FORM OF WEED CONTROL UNTIL GRASS HAS BEEN MOWED AT LEAST 4 TIMES.
- F. THESE SEEDING MEASURES ARE NOT TO BE USED ON SLOPES IN EXCESS OF 2:1 GRADING.
- G. PERMANENT SEEDING MEASURES ARE TO BE USED INSTEAD OF TEMPORARY SEEDING MEASURES WHERE WORK IS TO BE SUSPENDED FOR A PERIOD OF TIME LONGER THAN 1 YEAR.
- H. IF THERE IS NO EROSION, BUT SEED SURVIVAL IS LESS THAN 100 PLANTS PER SQUARE FOOT AFTER 4 WEEKS OF GROWTH, RE-SEED AS PLANTING SEASON ALLOWS.

CONSTRUCTION SEQUENCE

- A. STAKEOUT LIMIT OF DISTURBANCE.
  - B. HOLD A PRECONSTRUCTION MEETING.
  - C. CONTACT "DIG SAFE" AT 1-888-344-7233. THREE WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
  - D. INSTALL THE CONSTRUCTION ENTRANCE.
  - E. INSTALL PERIMETER FILTER (SILT FENCE)
  - F. PERFORM ALL NECESSARY CLEARING AND GRUBBING OPERATIONS.
  - G. EXCAVATE & DISPOSE OF ALL STUMPS OFF SITE.
  - H. STRIP ALL TOPSOIL WITHIN THE FOOTPRINT OF THE CONSTRUCTION SITE. STOCKPILE ALL TOPSOIL IN AN APPROVED AREA AND SECURE WITH EROSION AND SEDIMENT CONTROLS.
  - I. ROUGH GRADE SITE.
  - J. DIG FOUNDATIONS AND STOCKPILE MATERIAL AS REQUIRED.
  - K. PRIOR TO INSTALLATION OF SURFACE WATER CONTROLS SUCH AS TEMPORARY DIVERSIONS AND STONE DIKES, INSPECT EXISTING CONDITIONS TO ENSURE DISCHARGE LOCATIONS ARE STABLE. IF NOT STABLE, REVIEW DISCHARGE CONDITIONS WITH THE DESIGN ENGINEER AND IMPLEMENT ADDITIONAL STABILIZATION MEASURES PRIOR TO INSTALLING WATER SURFACE CONTROLS.
  - L. STABILIZE CUT AND FILL SLOPES.
  - M. CONSTRUCT FOUNDATION AND ERECT STRUCTURES.
  - N. INSTALL SERVICE UTILITIES.
  - O. CONSTRUCT CONCRETE SIDEWALKS.
  - P. FINISH GRADE ACCESS DRIVEWAYS & PARKING AREAS.
  - Q. PLACE TOPSOIL WHERE REQUIRED. INSTALL PERIMETER LANDSCAPE PLANTINGS.
  - R. FINISH GRADE SIDE SLOPES, SEED AND MULCH.
  - S. UPON SUBSTANTIAL COMPLETION OF THE BUILDING, COMPLETE THE BALANCE OF SITE WORK AND STABILIZATION OF ALL OTHER DISTURBED AREAS.
  - T. ALL REMAINING EXPOSED AREAS SHALL BE LOAMED, SEEDED AND MULCHED OR SODDED WITHIN 14 DAYS OF FINAL GRADING.
  - U. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROLS.
  - V. CONTRACTOR TO REMOVE ANY ACCUMULATED SEDIMENT FROM DRAINAGE STRUCTURES OR BASINS.
- NOTE: SEVERAL OF THE ABOVE ACTIVITIES MAY BE DONE SIMULTANEOUSLY.

SILT FENCE SPECIFICATIONS

- A. SYNTHETIC FILTER FABRIC SHALL BE A PERVIOUS SHEET OF PROPYLENE, NYLON, POLYESTER, ETHYLENE, OR SIMILAR FILAMENTS AND SHALL BE CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE FOLLOWING MINIMUM REQUIREMENTS:
  - 1. FILTERING EFFICIENCY 75 PERCENT (MIN)
  - 2. GRAB TENSILE STRENGTH 100 POUNDS
  - 3. ELONGATION AT FAILURE 15 PERCENT
  - 4. MULLEN BURST STRENGTH 250 POUNDS PER SQUARE INCH
  - 5. PUNCTURE STRENGTH 50 POUNDS
  - 6. APPARENT OPENING SIZE 0.60mm< X <0.90mm
  - 7. FLOW RATE 0.2 GALLONS PER SQUARE FOOT PER MINUTE
  - 8. PERMITTIVITY 0.05 PER SECOND (MIN)
  - 9. ULTRAVIOLET RADIATION STABILITY 70 PERCENT AFTER 500 HOURS OF EXPOSURE (MIN)
- B. STAKES ARE TO BE MADE OUT OF HARDWOOD WITH A MINIMUM CROSS SECTIONAL AREA OF 1.5 SQUARE INCHES OR STEEL POSTS WITH A MINIMUM WEIGHT OF 0.5 POUNDS PER LINEAR FOOT.
- C. TORN OR PUNCTURED GEOTEXTILES SHALL NOT BE USED.
- D. ON SLOPES WHERE SURFACE FLOW FOLLOWS THE SILT FENCE LINE, PERPENDICULAR SILT FENCE CHECKS SHALL BE INSTALLED AT 50 FOOT INTERVALS.
- E. LINES OF SILT FENCE SHOULD FOLLOW CONTOUR LINES 5-10 FEET DOWN GRADIENT FROM THE SLOPE. WHERE CONTOUR LINES CAN NOT BE FOLLOWED PERPENDICULAR WINGS SHOULD BE PLACED AT 50 FOOT INTERVALS.

EROSION & SEDIMENT CONTROL OPERATIONS AND MAINTENANCE

- A. EROSION AND SEDIMENTATION CONTROL AND RESTORATION MEASURES SHALL CONFORM TO THE "1997 MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS", PUBLISHED BY THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF RESOURCE PROTECTION; AND TO CITY REGULATIONS.
- B. INSTALLATION OF SEDIMENT AND EROSION CONTROLS SUCH AS WATTLES AND SILT FENCES SHALL BE ESTABLISHED PRIOR TO COMMENCING ANY LAND DISTURBANCE ACTIVITIES.
- C. ALL STOCKPILED MATERIAL SHALL BE RINGED WITH WATTLES OR SILT FENCES. ANY MATERIAL TO BE STOCKPILED LONGER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING OR JUTE NETTING.
- D. PAVEMENT AND CURBING SHOULD BE INSTALLED AS SOON AS POSSIBLE AFTER STORM DRAINAGE IS INSTALLED.
- E. CATCH BASINS SHALL BE PROTECTED FROM SEDIMENTATION UNTIL ALL AREAS ARE PERMANENTLY VEGETATED OR STABILIZED.
- F. CATCH BASIN SUMPS SHALL BE CLEANED OF SILT PERIODICALLY DURING CONSTRUCTION.
- G. WATTLES OR SILT FENCE SHALL BE PLACED 5-10 FEET FROM THE TOE OF ALL CRITICAL SLOPES AS SHOWN ON THE PLAN. THESE SHALL BE CHECKED BY THE CONTRACTOR REGULARLY AND REPAIRED WHENEVER THEY FAIL TO ENSURE CLEAN RUN-OFF FROM THE SITE.
- H. ADDITIONAL CONTROL MEASURES IF REQUESTED BY THE TOWN SHALL BE INSTALLED IMMEDIATELY UPON REQUEST.
- I. ALL DISTURBED AREAS SHALL BE PROTECTED WITH A MINIMUM VEGETATION COVER AS SHOWN IN ACCOMPANYING CHART.
- J. THE CONTRACTOR SHALL PLAN ALL LAND DISTURBING ACTIVITIES IN A MANNER AS TO MINIMIZE THE EXTENT OF THE DISTURBED AREAS.
- K. THE CONTRACTOR SHALL MAKE DAILY INSPECTIONS OF THE SITE TO INSURE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES AND WILL IMMEDIATELY MAKE NECESSARY REPAIRS IF REQUIRED BY THE TOWN.
- L. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSPECTED AT A MINIMUM OF ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.1 INCHES OR GREATER TO DETERMINE MAINTENANCE NEEDS.
- M. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REPLACED WITHIN 24 HOURS OF AN OBSERVED FAILURE.
- N. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND LEAVE BY THE DESIGNATED ENTRANCE. ALL SOIL, MISCELLANEOUS DEBRIS, OR OTHER MATERIAL SPILLED, DUMPED OR OTHERWISE DEPOSITED ON PUBLIC STREETS, HIGHWAYS, SIDEWALKS OR OTHER PUBLIC THOROUGHFARES DURING TRANSIT TO OR FROM THE SITE SHALL BE REMOVED PROMPTLY.
- O. THE CONTRACTOR HEREBY ACKNOWLEDGES HIS RESPONSIBILITY TO INSTALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ON THIS SITE AND THAT HIS FAILURE TO INSTALL AND MAINTAIN THESE DEVICES COULD RESULT IN FINES OR SUSPENSION OF WORK BY THE TOWN.
- P. MINIMIZE OR ELIMINATE ANY UNNECESSARY LAND DISTURBANCE OR CLEARING.

STORMWATER OPERATION AND MAINTENANCE

STORMWATER FACILITY  
OPERATION AND MAINTENANCE PLAN:

CONSTRUCTION PHASE

GENERAL PROVISIONS:

- CONTRACTOR TO INSTALL AND MAINTAIN DRAINAGE FACILITIES AS SHOWN ON THE PLAN SET.
- PRIOR TO CONSTRUCTION, ALL EROSION/SILTATION CONTROL DEVICES SHOWN ON ABOVE PLAN SHALL BE INSTALLED. TO PREVENT SILT INTRUSION INTO THE DRAINAGE SYSTEM DURING CONSTRUCTION, THE CONTRACTOR IS TO INSTALL INLET PROTECTION AT ALL CATCH BASINS AND SET SILT FENCE AT ALL SLOPES WHICH MAY ERODE IN THE DIRECTION OF ANY OPEN DRAINAGE FACILITIES. SUCH PREVENTIVE MEASURES ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- EROSION CONTROLS ARE TO BE INSPECTED ON A DAILY BASIS. UPON DISCOVERY, THE CONTRACTOR SHALL REMOVE ANY SEDIMENT FROM AN EROSION CONTROL STRUCTURE.
- ALL EXPOSED SOILS SHALL BE IMMEDIATELY STABILIZED TO PREVENT EROSION.
- UPON INSTALLATION OF CATCH BASINS, INLET PROTECTION SHALL BE INSTALLED AND MAINTAINED UNTIL READY FOR PAVING.
- PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS, ALL DRAINAGE STRUCTURES AND PIPES SHALL BE INSTALLED AND INSPECTED FOR PROPER FUNCTION. DURING CONSTRUCTION OF OTHER SITE FEATURES, DRAINAGE FACILITIES SHALL BE INSPECTED ON A DAILY BASIS AND CLEANED/REPAIRED IMMEDIATELY UPON DISCOVERY OF SEDIMENT BUILD-UP OR DAMAGE.
- AFTER PAVING IS INSTALLED, IT SHALL BE SWEEP CLEAN ON A MONTHLY BASIS.

CATCH BASIN SUMPS:

- CONTRACTOR TO INSPECT WEEKLY OR AFTER EACH 0.5 INCH RAIN EVENT AND CLEAN AS NEEDED.
- CONTRACTOR SHALL CLEAN SUMPS AFTER SITE IS COMPLETELY STABILIZED AND PRIOR TO TRANSFER TO OWNER.

HYDRODYNAMIC OIL & PARTICLE SEPARATOR:

- PRIOR TO TURNOVER TO OWNER THE OIL WATER SEPARATOR WILL BE CLEANED USING A VACUUM TRUCK OR OTHER ORDINARY CATCH BASIN CLEANING EQUIPMENT. THE DEBRIS WILL BE REMOVED FROM THE SITE AND DISPOSED OF ACCORDING TO ALL LOCAL, STATE, AND FEDERAL REGULATIONS. THIS WORK WILL BE DONE BY A LICENSED HAULER OF CONTAMINATED MATERIALS.

WATER QUALITY BASIN:

- CONTRACTOR TO INSPECT WEEKLY OR AFTER EACH 0.5 INCH RAIN EVENT.
- INSPECTIONS SHOULD FOCUS ON THE DURATION OF STANDING WATER IN THE BASIN. (PONDING AFTER 48 HOURS INDICATES POSSIBLE CLOGGING OF THE BOTTOM OF THE BASIN)
- CONTRACTOR SHALL CLEAN INSPECT DETENTION SYSTEM AFTER SITE IS COMPLETELY STABILIZED AND PRIOR TO TRANSFER TO OWNER.

POST-DEVELOPMENT PHASE

GENERAL PROVISIONS:

SNOW STOCKPILING:

SNOW ACCUMULATIONS REMOVED FROM DRIVEWAYS AND PARKING AREAS SHALL BE PLACED IN UPLAND AREAS, WHERE SAND AND DEBRIS WILL REMAIN AFTER SNOW MELT FOR LATER REMOVAL. CARE SHOULD BE TAKEN NOT TO DEPOSIT SNOW IN THE IMMEDIATE VICINITY OF CATCH BASINS, DRAINAGE SWALES, OR SLOPES LEADING TO BODIES OF WATER, AND DRINKING WATER WELL SUPPLIES.

PAVEMENT SWEEPING:

DRIVEWAYS AND PARKING AREAS SHOULD BE SWEEP CLEAN AT LEAST TWICE ANNUALLY, WITH ONE SWEEPING PREFERABLY OCCURRING IMMEDIATELY AFTER WINTER SNOW MELT AND BEFORE SPRING RAINS. SWEEPING DURING THIS PERIOD CAPTURES PEAK SEDIMENT LOADS AND EXTENDS THE SERVICE LIFE OF THE STORM WATER MANAGEMENT SYSTEM.

CATCH BASIN SUMPS:

CATCH BASINS SHALL BE INSPECTED BI-ANNUALLY AND CLEANED AT LEAST ANNUALLY, AFTER THE SNOW AND ICE SEASON, AND AS SOON AS POSSIBLE BEFORE SPRING RAINS. IN GENERAL, A CATCH BASIN SHOULD BE CLEANED IF THE DEPTH OF DEPOSITS IS GREATER THAN ONE HALF THE SUMP DEPTH. IF A CATCH BASIN SIGNIFICANTLY EXCEEDS THIS STANDARD THEN MORE FREQUENT CLEANINGS SHALL BE SCHEDULED. IN AREAS WITH HIGHER POLLUTANT LOADINGS OR DISCHARGES INTO SENSITIVE BODIES OF WATER, MORE FREQUENT CLEANINGS WILL BE NECESSARY.

HYDRODYNAMIC OIL & PARTICLE SEPARATOR:

THE OIL WATER SEPARATOR WILL BE INSPECTED QUARTERLY FOR THE PRESENCE OF ACCUMULATED OIL AND GREASE, FLOATABLES AND SEDIMENT, IF FOUND, THE STRUCTURE WILL BE CLEANED USING A VACUUM TRUCK OR OTHER ORDINARY CATCH BASIN CLEANING EQUIPMENT. THE DEBRIS WILL BE REMOVED FROM THE SITE AND DISPOSED OF ACCORDING TO ALL LOCAL, STATE, AND FEDERAL REGULATIONS. THIS WORK WILL BE DONE BY A LICENSED HAULER OF CONTAMINATED MATERIALS. THE SCHEDULE OF INSPECTIONS WILL BE ADJUSTED TO AN ANNUAL INSPECTION IF NO OIL OR GREASE IS FOUND ON A REGULAR BASIS. OWNER WILL BE RESPONSIBLE FOR THE INSPECTIONS AND CLEANING.

WATER QUALITY BASIN

WATER QUALITY BASIN SHALL BE INSPECTED AT LEAST TWICE ANNUALLY AND AFTER ALL MAJOR STORMS TO ENSURE THAT IT IS OPERATING AS INTENDED. PRETREATMENT BMP'S SHALL BE INSPECTED AND CLEANED DURING THE REGULAR BI-ANNUAL INSPECTIONS. POTENTIAL PROBLEMS THAT SHOULD BE CHECKED INCLUDE:

- PONDING
- EROSION
- CLOGGING OF INLET AND OUTLET PIPES

ANY NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY. TRASH SHALL BE REMOVED AND THE BANKS, OF BASINS, MOWED AT LEAST TWICE PER YEAR. (MOWING SHOULD BE PERFORMED WHEN GROUND IS DRY TO AVOID RUTS AND COMPACTION) SEDIMENT SHALL BE REMOVED FROM THE BASIN AND PRETREATMENT AREA AS NECESSARY, AND AT LEAST ONCE EVERY FIVE YEARS.

RECORD KEEPING

RECORDS SHALL BE MAINTAINED BY THE OWNER AT THEIR OFFICES & SHALL DOCUMENT ALL ROUTINE & EMERGENCY MAINTENANCE WORK PERFORMED TO THE STORMWATER MANAGEMENT SYSTEM & SHALL BEAR THE SIGNATURE OF THE INDIVIDUAL SUPERVISING THE WORK. THESE RECORDS & THE SITE, SHALL BE MADE AVAILABLE TO THE TOWN FOR INSPECTION UPON REQUEST IN ORDER TO ENSURE COMPLIANCE WITH THIS PLAN.

SUGGESTED SEEDING MIXTURES AND PRACTICES

AREAS WHERE SEED MIX APPLIES	SEEDING MIXTURES BY WEIGHT	RATE PER 1,000 SQ. FT.	SEEDING DATES
ALL LAWN AREAS	RED FESCUES 45% KENTUCKY BLUEGRASS 45% PERENNIAL RYEGRASS 10%	1 LBS.	APRIL 1 – JUNE 15 OR AUG. 15 – OCT. 1
ROAD CUTS, FILLS, DIVERSION DITCHES, & STORMWATER BASINS	KENTUCKY TALL FESCUE 47% REDTOP 6% CREEPING RED FESCUE 47%	0.95 LBS.	APRIL 1 – JUNE 15 OR AUG. 15 – OCT. 1
WHERE TREES ARE TO BE RETAINED, THE SEED MIXTURE SHOULD BE ADAPTED FOR SHADY CONDITIONS.			
TEMPORARY SEEDING	ANNUAL RYEGRASS OR PERENNIAL RYEGRASS	1-1/2 LBS.	WITHIN 7 DAYS AFTER SUSPENSION OF GRADING WORK

Juster Pope Frazier, LLC  
Architects and Planners  
82 North Street  
Northampton, Massachusetts 01060  
413 . 586 . 1600

Clough Harbour Associates, LLP  
Civil Engineers  
101 East River Drive, 1st Floor  
East Hartford, CT 06108  
860.290.4100



OWNER/APPLICANT  
**NICHOLS COLLEGE**

121 CENTER ROAD  
PO BOX 5000  
DUDLEY, MA 01571  
508-213-2217

**TOWNHOMES**

CENTER ROAD, DUDLEY, MA 01571

REVISIONS

NO.	DATE	BY	REMARKS
1	6/30/22	PMP	REVIEW COMMENTS
2	10/3/22	PMP	REVISED SITE LAYOUT

SET

**PLANNING BOARD  
SUBMISSION**

SHEET TITLE

**EROSION & SEDIMENT  
CONTROL PLAN**

DATE MAY 25, 2022

SCALE AS NOTED

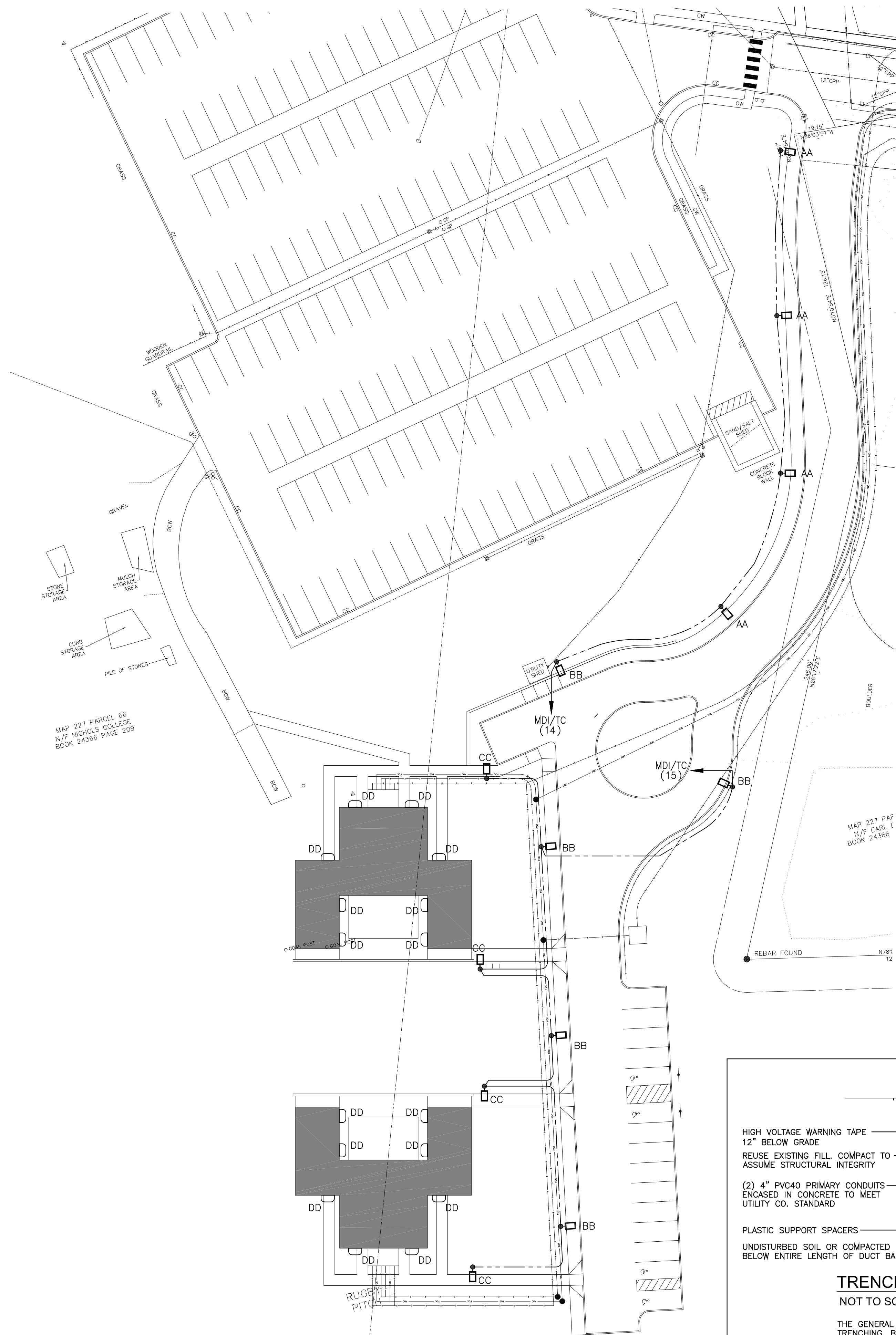
DRAWN BY PMP

CHECKED BY

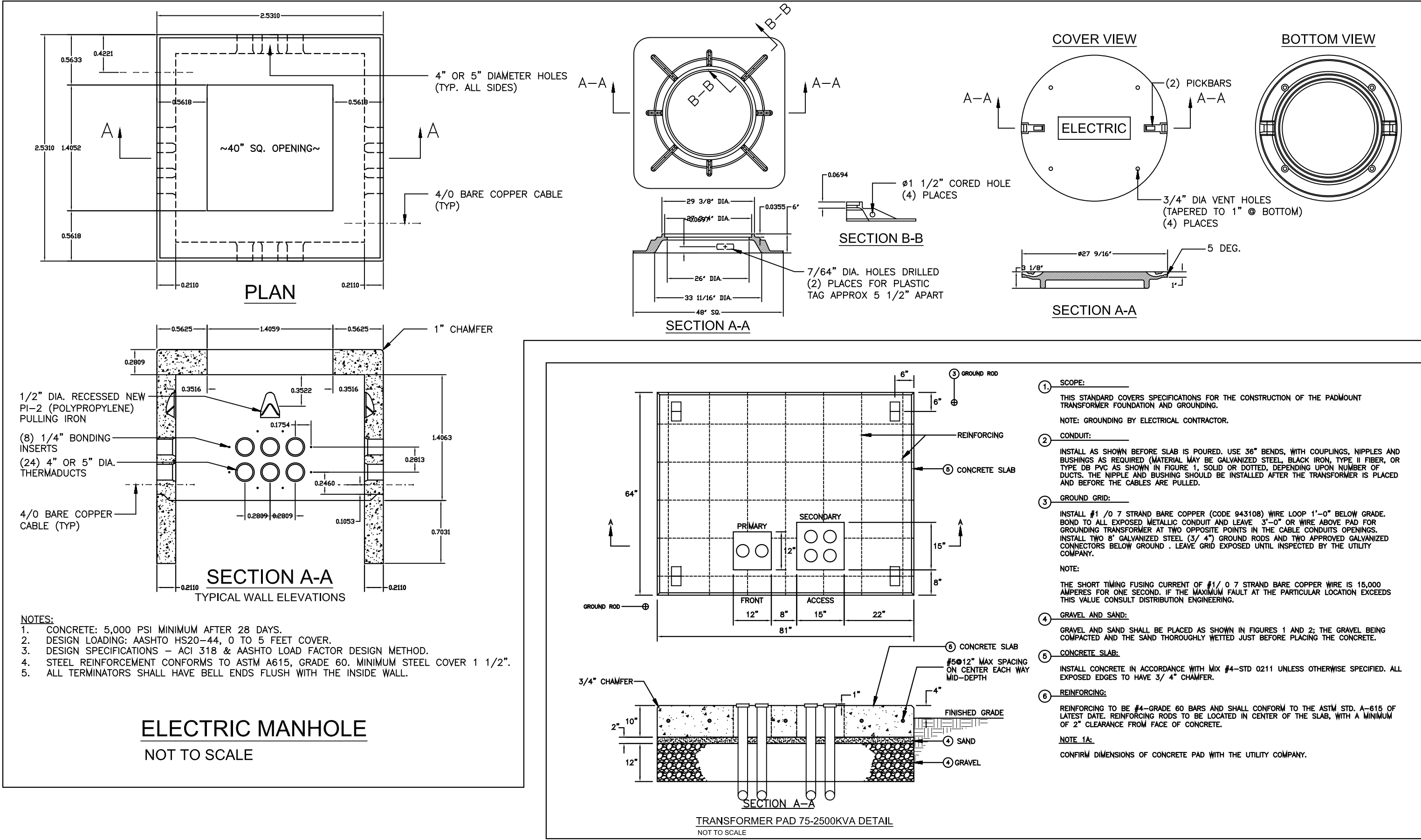
SHEET NO.

C5.2

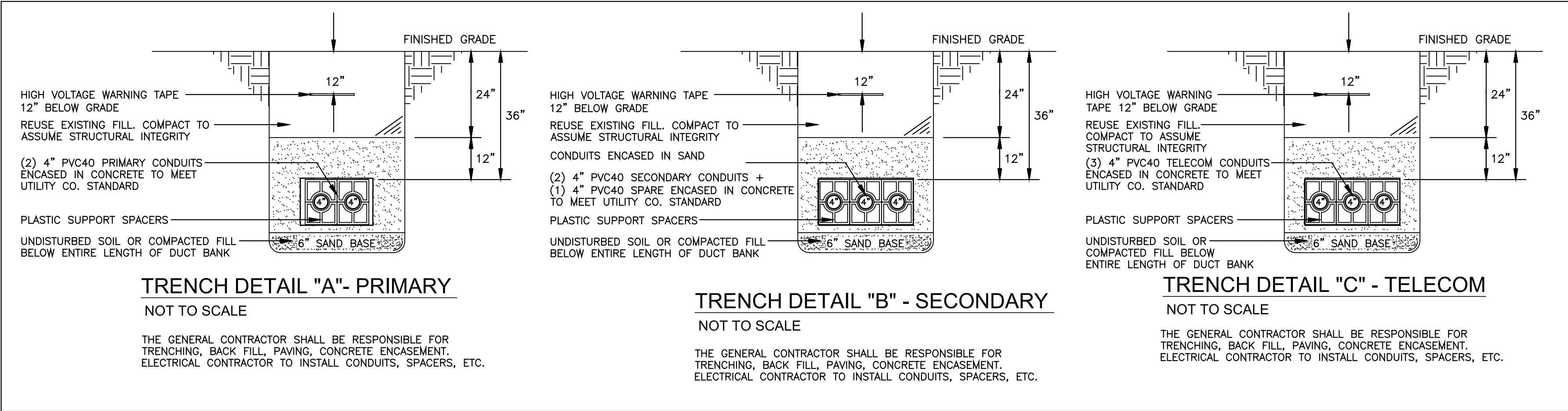




SITE PLAN- LIGHTING  
Scale: 1"=30'-0"



LIGHTING FIXTURE SCHEDULE							
TYPE	MANUFACTURER	CATALOGUE #	LAMPING			MOUNTING	REMARKS
			TYPE	WATTAGE	QUANTITY		
AA	MCGRAW EDISON	GPC-SA1C-740-U-T3-QM-XX	LED	59W		POLE	MOUNTED ON 20'-0" POLE
AA(POLE)	ULS	RPSQ-20-4-11-AB-D1-XX					4" SQUARE STRAIGHT 20'-0" POLE
BB	MCGRAW EDISON	GPC-SA2B-740-U-T4W-QM-XX	LED	86W		POLE	MOUNTED ON 20'-0" POLE
BB(POLE)	ULS	RPSQ-20-4-11-AB-D1-XX					4" SQUARE STRAIGHT 20'-0" POLE
CC	HADCO	RL32TDBE1ASNXA2NNNSP1	LED	39W		POLE	
CC(POLE)	SIGNIFY	P1566-12A POLE					12'-0" POLE
CC	HADCO	RL32TDBE1ASNXA2NNNSP1	LED	39W		POLE	
DD	NEW STAR	GTW-2-HA-L1-40-12-CC-EL	LED	26		WALL	EXTERIOR WALL PACK MOUNTED @ 7'-0" AFG



JUSTER POPE FRAZIERLLC  
Architects and Planners  
82 North Street  
Northampton, Massachusetts 01060  
413 . 586 . 1600

Girard & Co. Engineers, LLC  
Structural Engineers  
10 Waterchase Drive  
Rocky Hill, CT 06067  
860.563.3820

VAV International Inc  
HVAC, Plumbing and Fire Protection  
Engineering  
1308 Grafton Street  
Worcester, MA 01604  
508 . 753 . 7793

Shepard Engineering Inc.  
Electrical Consulting Services  
1308 Grafton Street  
Worcester, MA 01604  
508 . 753 . 7793

CHA Consulting, Inc.  
Civil Engineering  
101 East River Drive  
1st floor  
East Hartford CT 06108  
860 . 290 . 4100

## NICHOLS COLLEGE

## TOWNHOMES

CENTER ROAD, DUDLEY MA 01571

### REVISIONS

NO.	DATE	BY	REMARKS

### SET

### SHEET TITLE

## SITE PLAN ELECTRICAL

DATE AUGUST 01, 2022

SCALE AS SHOWN

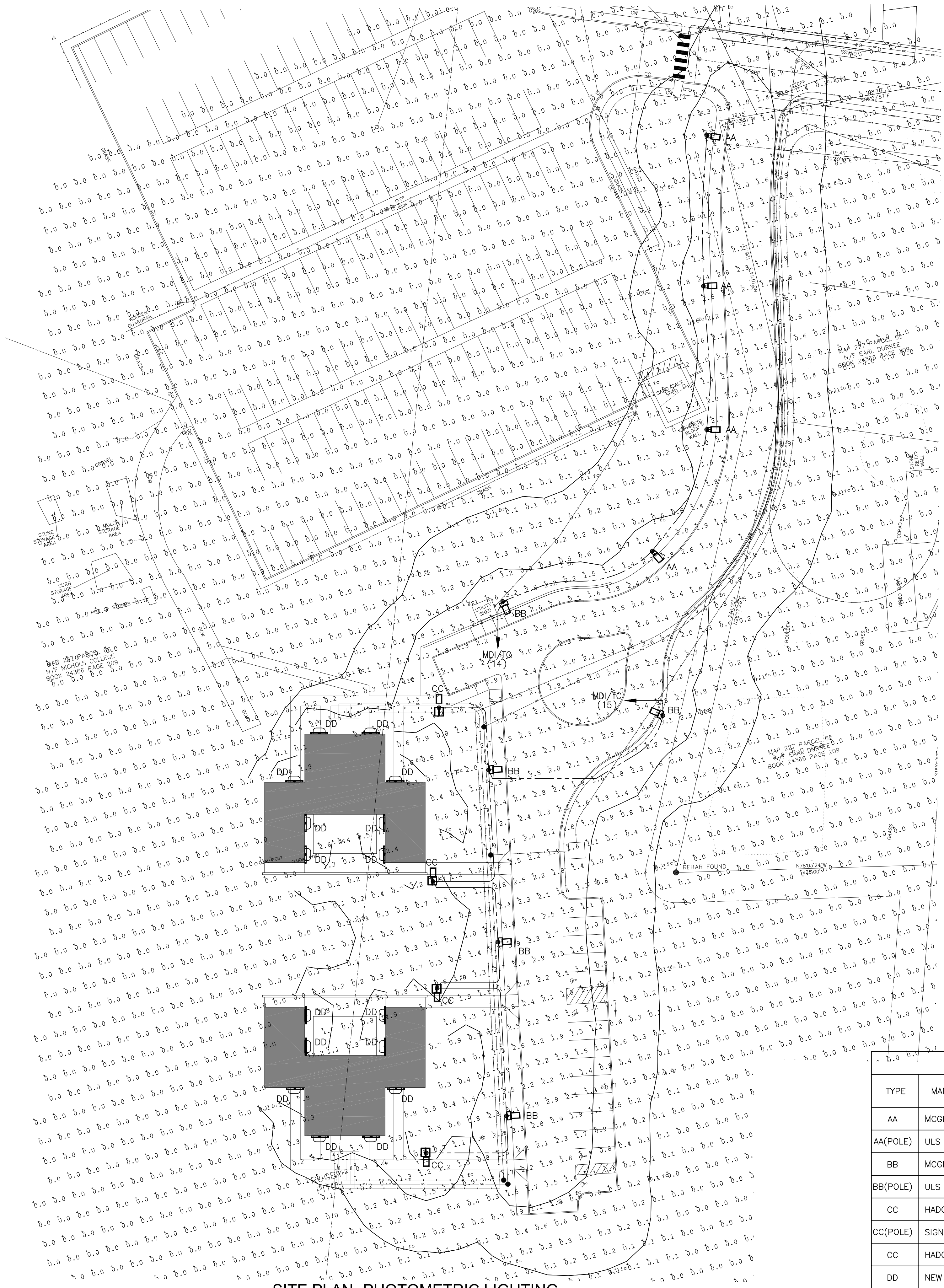
DRAWN BY AJV

CHECKED BY JDS

SHEET NO.

ES.1





SITE PLAN- PHOTOMETRIC LIGHTING

Scale: 1"=30'-0"

JUSTER POPE FRAZIERLLC  
Architects and Planners  
82 North Street  
Northampton, Massachusetts 01060  
413 . 586 . 1600

Girard & Co. Engineers, LLC  
Structural Engineers  
10 Waterchase Drive  
Rocky Hill, CT 06067  
860.563.3820

VAV International Inc  
HVAC, Plumbing and Fire Protection  
Engineering  
1308 Grafton Street  
Worcester, MA 01604  
508 . 753 . 7793

Shepard Engineering Inc.  
Electrical Consulting Services  
1308 Grafton Street  
Worcester, MA 01604  
508 . 753 . 7793

CHA Consulting, Inc.  
Civil Engineering  
101 East River Drive  
1st floor  
East Hartford CT 06108  
860 . 290 . 4100

NICHOLS COLLEGE

TOWNHOMES

CENTER ROAD, DUDLEY MA 01571

REVISIONS

NO.	DATE	BY	REMARKS

SET

SHEET TITLE

SITE PLAN  
PHOTOMETRIC

DATE AUGUST 01, 2022

SCALE AS SHOWN

DRAWN BY AJV

CHECKED BY JDS

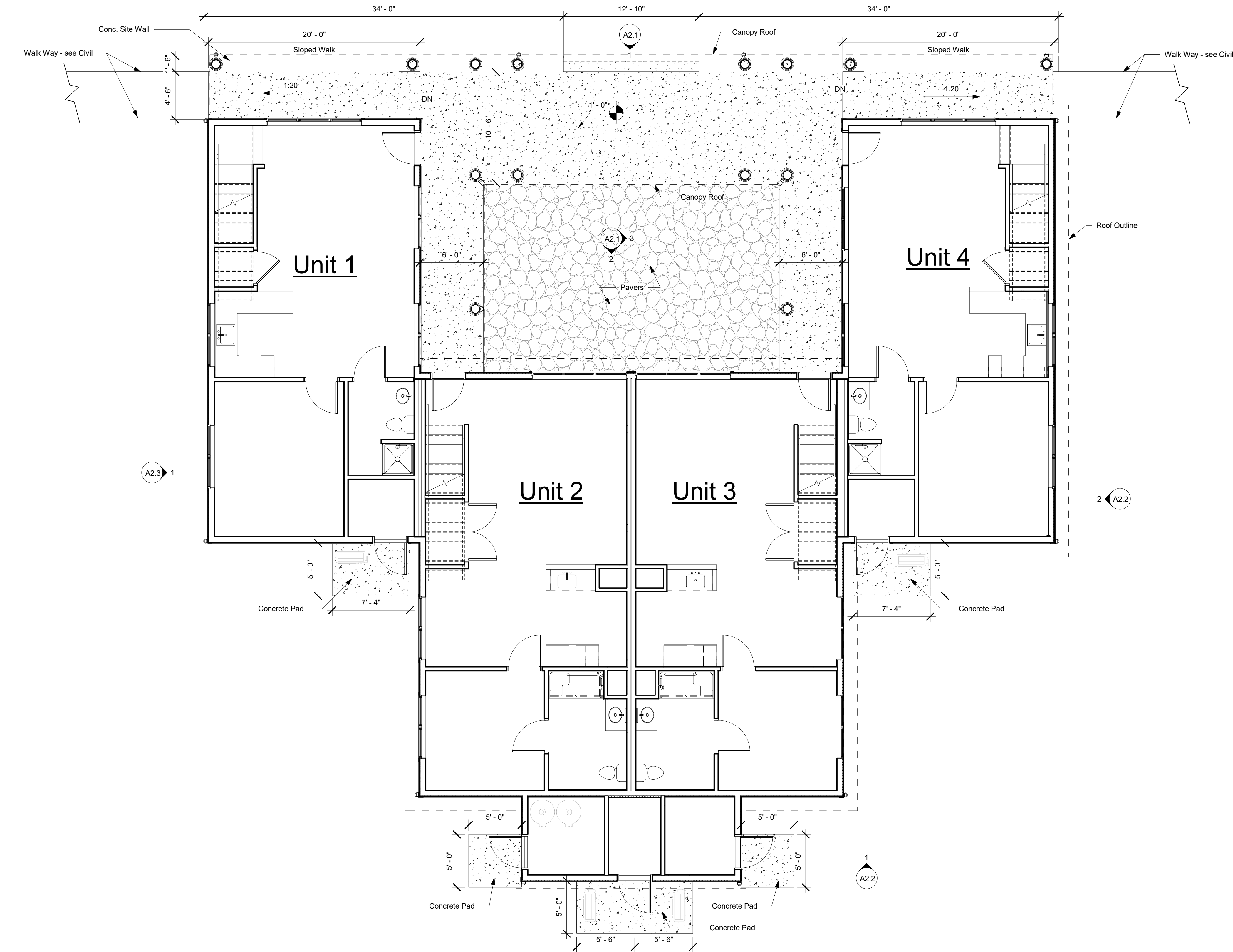
SHEET NO.

ES.1  
PHOTOM

LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURER	CATALOGUE #	LAMPING			MOUNTING	REMARKS
			TYPE	WATTAGE	QUANTITY		
AA	MCGRAW EDISON	GPC-SA1C-740-U-T3-QM-XX	LED	59W		POLE	MOUNTED ON 20'-0" POLE
AA(POLE)	ULS	RPSQ-20-4-11-AB-D1-XX					4" SQUARE STRAIGHT 20'-0" POLE
BB	MCGRAW EDISON	GPC-SA2B-740-U-T4W-QM-XX	LED	86W		POLE	MOUNTED ON 20'-0" POLE
BB(POLE)	ULS	RPSQ-20-4-11-AB-D1-XX					4" SQUARE STRAIGHT 20'-0" POLE
CC	HADCO	RL32TDBE1ASNXA2NNNNSP1	LED	39W		POLE	
CC(POLE)	SIGNIFY	P1566-12A POLE					12'-0" POLE
CC	HADCO	RL32TDBE1ASNXA2NNNNSP1	LED	39W		POLE	
DD	NEW STAR	GTW-2-HA-L1-40-12-CC-EL	LED	26		WALL	EXTERIOR WALL PACK MOUNTED @ 7'-0" AFG





1 Typical Building Site plan  
3/16" = 1'-0"

JUSTER POPE FRAZIER LLC  
Architects and Planners  
82 North Street  
Northampton, Massachusetts 01060  
413 . 586 . 1600

Girard & Co. Engineers, LLC  
Structural Engineers  
10 Waterchase Drive  
Rocky Hill, CT 06067  
860 . 563 . 3820

VAV International Inc  
Consulting Mechanical Engineers  
400 W. Cummings Park, Suite 4700  
Woburn, MA 01801  
781 . 935 . 7228

Shepard Engineering Inc.  
Electrical Consulting Services  
1308 Grafton Street  
Worcester, MA 01604  
508 . 753 . 7793

CHA Consulting, Inc.  
Civil Engineering  
101 East River Drive  
1st floor  
East Hartford CT 06108  
860 . 290 . 4100

NICHOLS COLLEGE

TOWNHOMES

CENTER ROAD, DUDLEY MA 01571

REVISIONS			
NO.	DATE	BY	REMARKS

SET

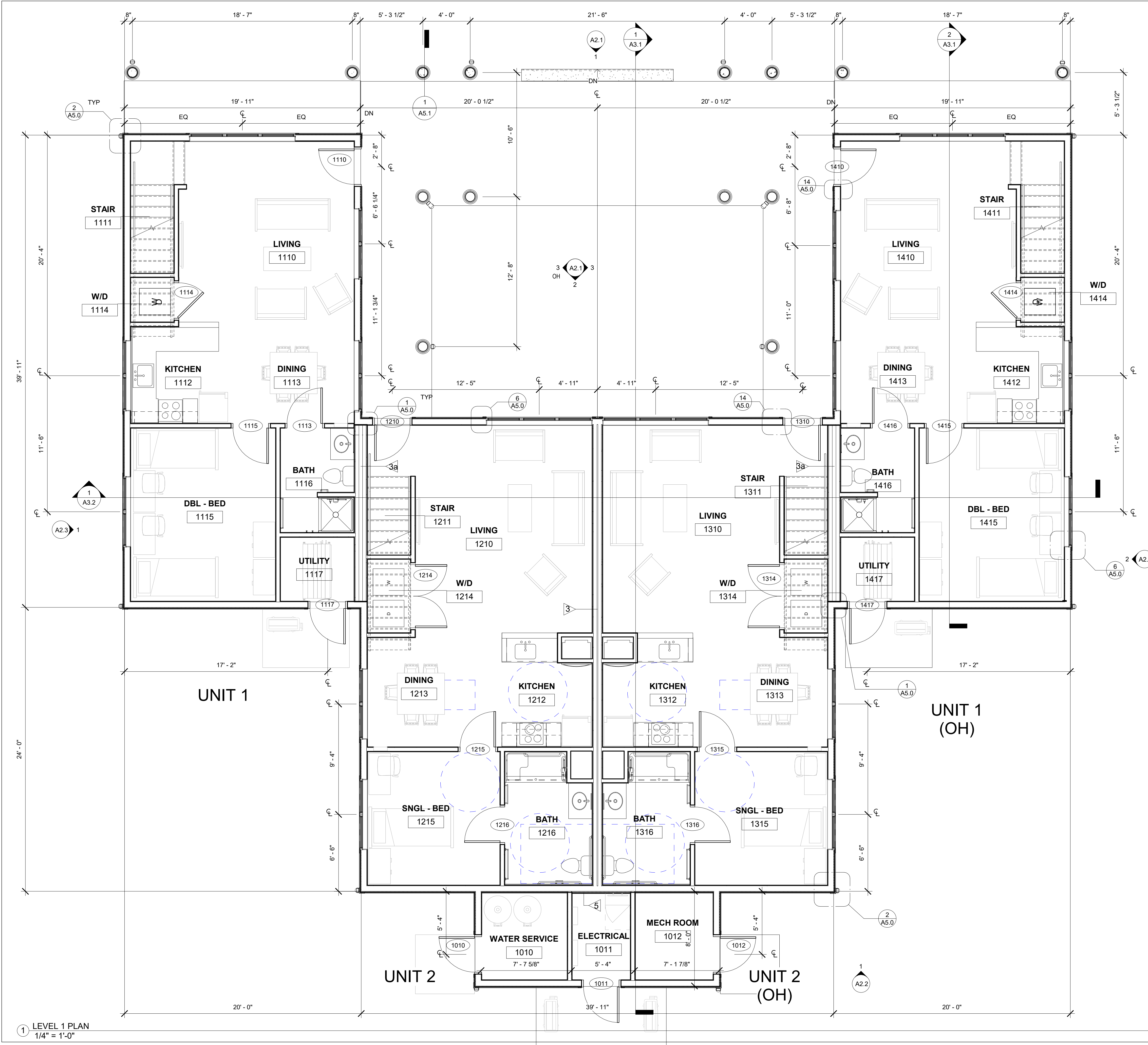
Planning board  
Submission

SHEET TITLE

Typical Building Site  
Plan

DATE	MAY 25, 2022
SCALE	3/16" = 1'-0"
DRAWN BY	AH
CHECKED BY	Checker
SHEET NO.	A1.0





**CONSTRUCTION PLAN - GENERAL NOTES:**

- Contractor Is To Field Verify Existing Conditions And Dimensions Prior To Bidding Project And Notify Architect And Owner Of Any Concerns Which Mayimpact Construction Or Pricing.
- See Electrical, Plumbing, Fp, Hvac For Full Layout/ Details Of Power, Fire Protection, Lighting, Plumbing, Air Diffusers Etc. To Meet Code And Owner's Requirements. Electrical & Plumbing Notes On Architecturals (Plans & Elevations) For Specific Areas/ Pieces Of Equipment Only.
- All References To Gc Or Cm To Be Considered Equivalent.
- See Building Plans For Exterior Dimensions, Room Tags And Door Tags.
- See Unit Plans For Interior Dimensions, Wall Types, Interior Elevations And Additional Information.
- All Dimensions Are To Face Of Stud U.N.O.

**JUSTER POPE FRAZIER LLC**  
Architects and Planners  
82 North Street  
Northampton, Massachusetts 01060  
413 . 586 . 1600

**Girard & Co. Engineers, LLC**  
Structural Engineers  
10 Waterchase Drive  
Rocky Hill, CT 06067  
860 . 563 . 3820

**VAV International Inc**  
Consulting Mechanical Engineers  
400 W. Cummings Park, Suite 4700  
Woburn, MA 01801  
781 . 935 . 7228

**Shepard Engineering Inc.**  
Electrical Consulting Services  
1308 Grafton Street  
Worcester, MA 01604  
508 . 753 . 7793

**CHA Consulting, Inc.**  
Civil Engineering  
101 East River Drive  
1st floor  
East Hartford CT 06108  
860 . 290 . 4100

**NICHOLS COLLEGE**

**TOWNHOMES**

CENTER ROAD, DUDLEY MA 01571

REVISIONS			
NO.	DATE	BY	REMARKS

SET

Planning board  
Submission

SHEET TITLE

**BUILDING A LEVEL 1  
PLAN**

DATE	MAY 25, 2022
SCALE	As indicated
DRAWN BY	AH
CHECKED BY	Checker
SHEET NO.	<b>A1.1</b>

See Floor/Roof Assemblies for Details

Truss or Joist

1x3 Strapping

1/2" Gap See Structural

3 1/2" Acoustic Batt (Full Height)

3 1/2" Wood Stud Framing @ 16" O.C.

5/8" BWG ea. Side Sealant (Fill All Voids)

Slab or Deck

**1** **ACUSTIC CONSTRUCTION SEE SPECIFICATIONS** **STC 36**

See Floor/Roof Assemblies for Details

Truss or Joist

1x3 Strapping

1/2" Gap See Structural

Cig. Per Schedule

3 1/2" Wood Stud Framing @ 16" O.C.

5/8" BWG ea. Side Sealant (Fill All Voids)

Slab or Deck

**2** **STC 34**

See Floor/Roof Assemblies for Details

Truss or Joist

1x3 Strapping

1/2" Gap See Structural

Ceiling Per Schedule

8"

3 1/2" Wood Stud Framing @ 16" O.C. - Staggered

5/8" GWB 2 Layer ea. Side, Full Ht Sealant (Fill All Voids)

3 1/2" Acoustic Batt One Side (Full Ht)

Slab or Deck

**3** **UL - U 341 1 HOUR RATED** **STC 58**

See Floor/Roof Assemblies for Details

Truss or Joist

1x3 Strapping

1/2" Gap See Structural

3 1/2" Wood Stud Framing @ 16" O.C.

Full Ht Acoustic Batt @ Partition Type 4a

5/8" BWG ea. Side Sealant (Fill All Voids)

Slab or Deck

**4/4A** **4A- PROVIDE ACOUSTIC-BATT INSULATION**

See Floor/Roof Assemblies for Details

Ceiling or Structure

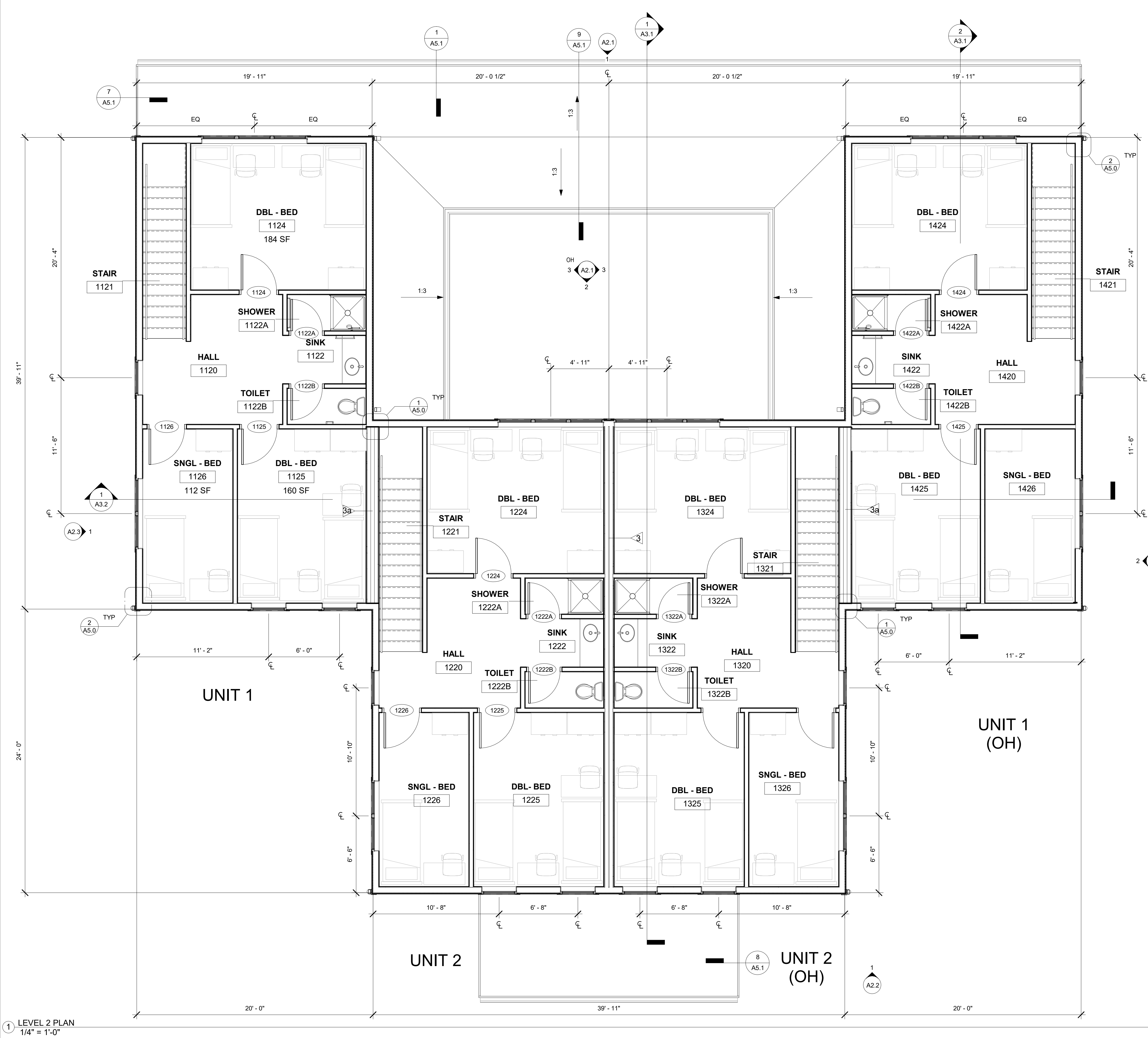
Wall and Framing

(2) Layers of 3/4" Plywd Secured to Wall Framing

Slab or Deck

**5**





CONSTRUCTION PLAN - GENERAL NOTES:

1. Contractor Is To Field Verify Existing Conditions And Dimensions Prior To Bidding Project And Notify Architect And Owner Of Any Concerns Which Mayimpact Construction Or Pricing.
2. See Electrical, Plumbing, Fp, Hvac For Full Layout/ Details Of Power, Fire Protection, Lighting, Plumbing, Air Diffusers Etc. To Meet Code And Owner's Requirements. Electrical & Plumbing Noted On Architecturals (Plans & Elevations) For Specific Areas/ Pieces Of Equipment Only.
3. All References To Gc Or Cm To Be Considered Equivalent.
4. See Building Plans For Exterior Dimensions, Room Tags And Door Tags.
5. See Unit Plans For Interior Dimensions, Wall Types, Interior Elevations And Additional Information.
6. All Dimensions Are To Face Of Stud U.N.O.

JUSTER POPE FRAZIER LLC  
Architects and Planners

82 North Street  
Northampton, Massachusetts 01060  
413 . 586 . 1600

Girard & Co. Engineers, LLC  
Structural Engineers  
10 Waterchase Drive  
Rocky Hill, CT 06067  
860 . 563 . 3820

VAV International Inc  
Consulting Mechanical Engineers  
400 W. Cummings Park, Suite 4700  
Woburn, MA 01801  
781 . 935 . 7228

Shepard Engineering Inc.  
Electrical Consulting Services  
1308 Grafton Street  
Worcester, MA 01604  
508 . 753 . 7793

CHA Consulting, Inc.  
Civil Engineering  
101 East River Drive  
1st floor  
East Hartford CT 06108  
860 . 290 . 4100

NICHOLS COLLEGE

TOWNHOMES

CENTER ROAD, DUDLEY MA 01571

REVISIONS

NO.	DATE	BY	REMARKS

SET

Planning board  
Submission

SHEET TITLE

BUILDING A LEVEL 2  
PLAN

DATE MAY 25, 2022

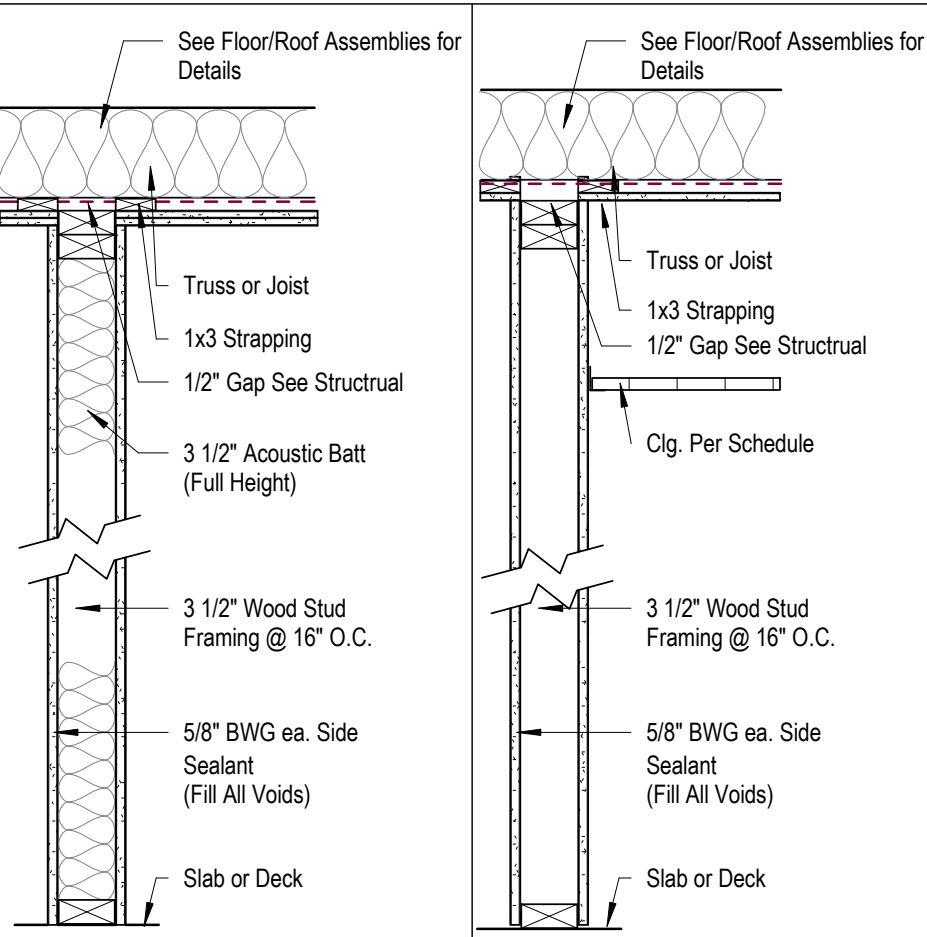
SCALE As indicated

DRAWN BY AH

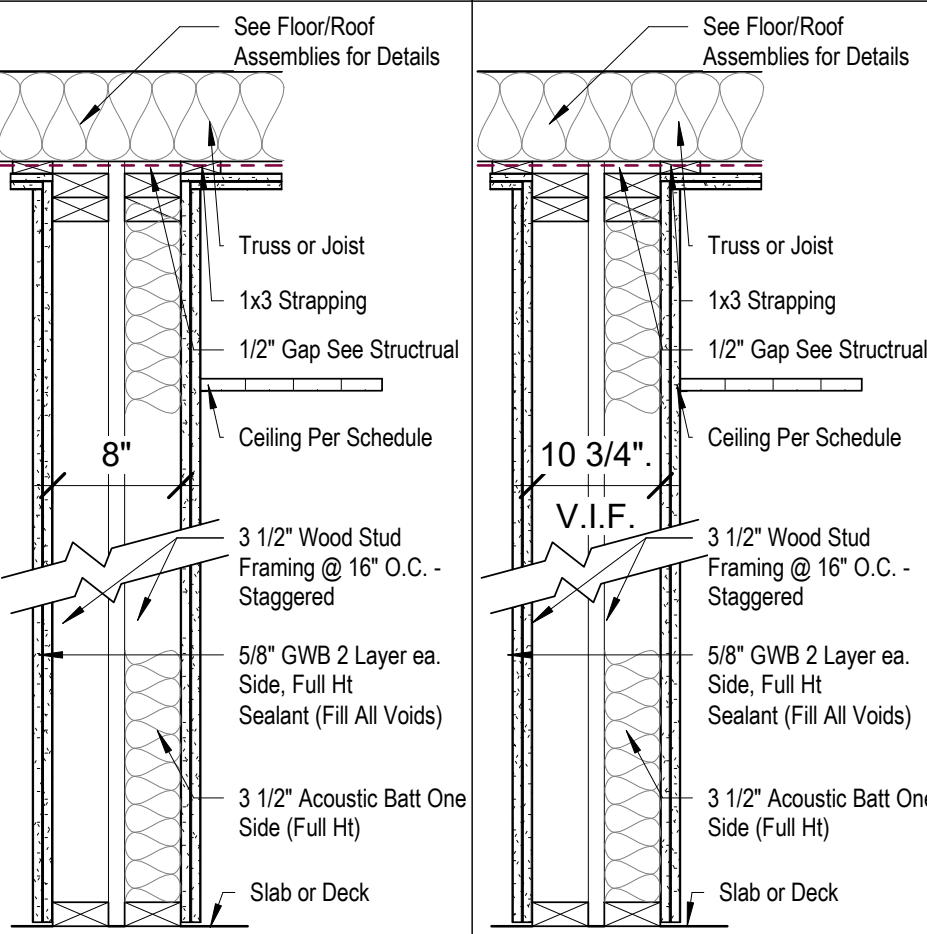
CHECKED BY Checker

SHEET NO.

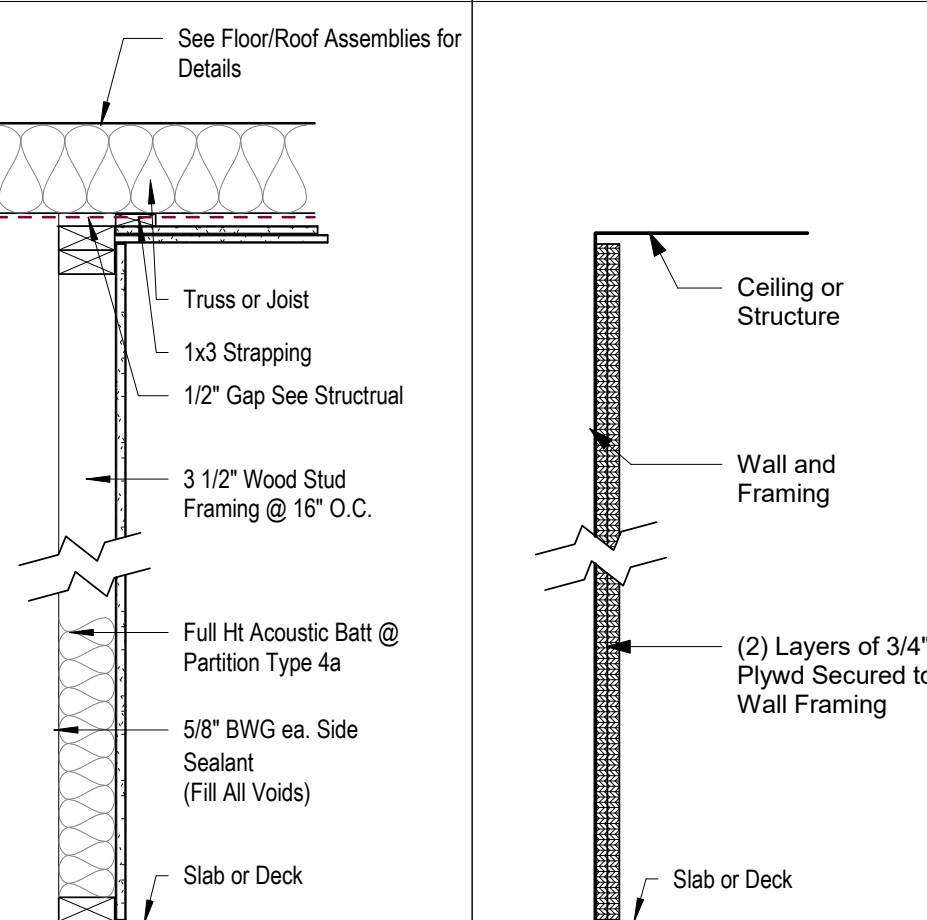
A1.2



1	ACoustic CONSTRUCTION SEE SPECIFICATIONS	STC 36
2		STC 34



3	UL - U 341 1 HOUR RATED	STC 58
3a	UL - U 341 1 HOUR RATED	STC 58

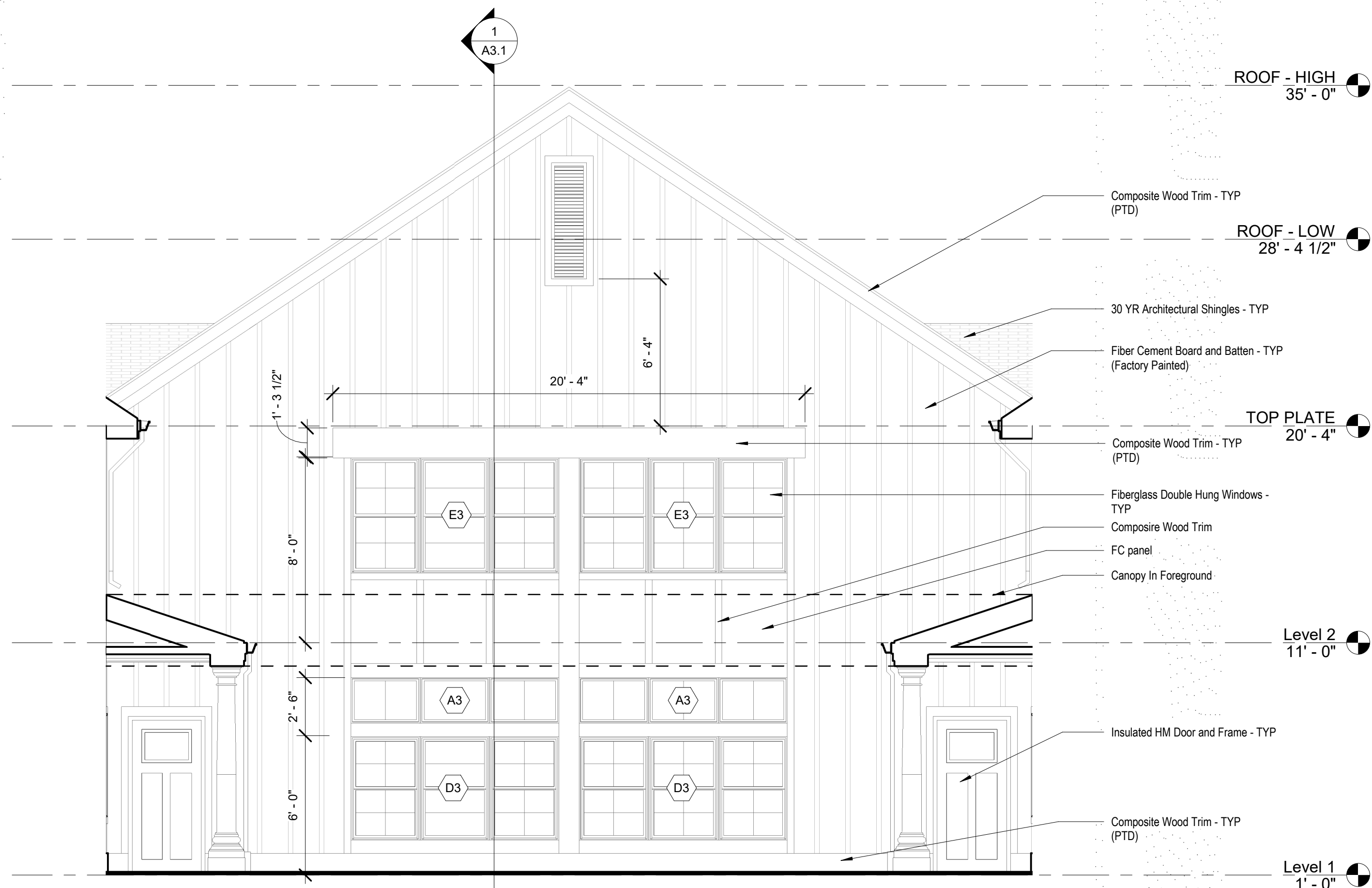


4/4A	4A- PROVIDE ACoustic-BATT INSULATION	
5		

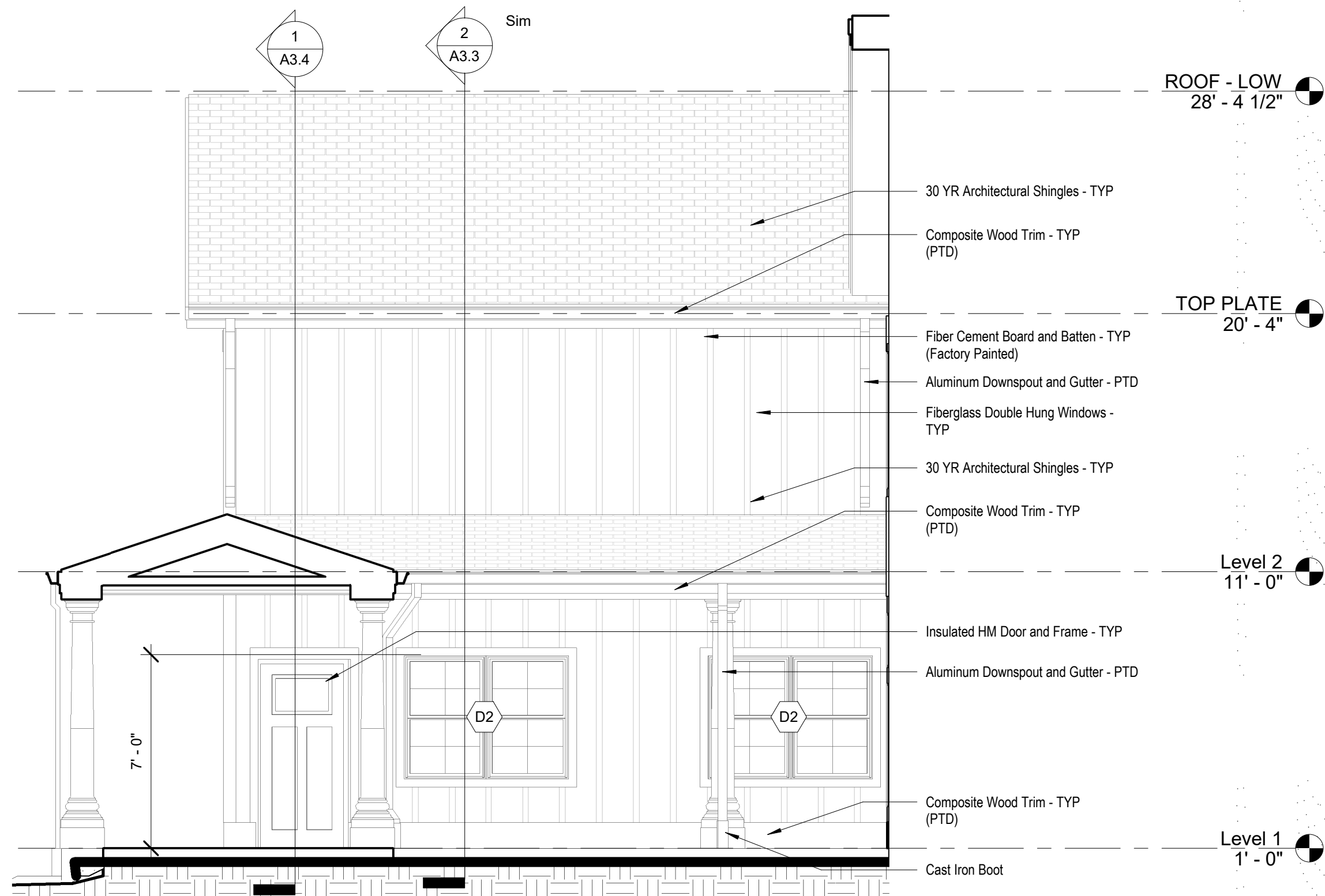




① NORTH ELEVATION  
1/4" = 1'-0"



② NORTH ELEVATION - INTERIOR COURTYARD  
1/4" = 1'-0"



③ WEST ELEVATION - INTERIOR COURTYARD  
1/4" = 1'-0"

JUSTER POPE FRAZIER LLC  
Architects and Planners  
82 North Street  
Northampton, Massachusetts 01060  
413 . 586 . 1600

Girard & Co. Engineers, LLC  
Structural Engineers  
10 Waterchase Drive  
Rocky Hill, CT 06067  
860 . 563 . 3820

VAV International Inc  
Consulting Mechanical Engineers  
400 W. Cummings Park, Suite 4700  
Woburn, MA 01801  
781 . 935 . 7228

Shepard Engineering Inc.  
Electrical Consulting Services  
1308 Grafton Street  
Worcester, MA 01604  
508 . 753 . 7793

CHA Consulting, Inc.  
Civil Engineering  
101 East River Drive  
1st floor  
East Hartford CT 06108  
860 . 290 . 4100

NICHOLS COLLEGE

TOWNHOMES

CENTER ROAD, DUDLEY MA 01571

#### REVISIONS

NO.	DATE	BY	REMARKS

SET

Planning board  
Submission

SHEET TITLE

EXTERIOR  
ELEVATIONS

DATE MAY 25, 2022

SCALE 1/4" = 1'-0"

DRAWN BY AH

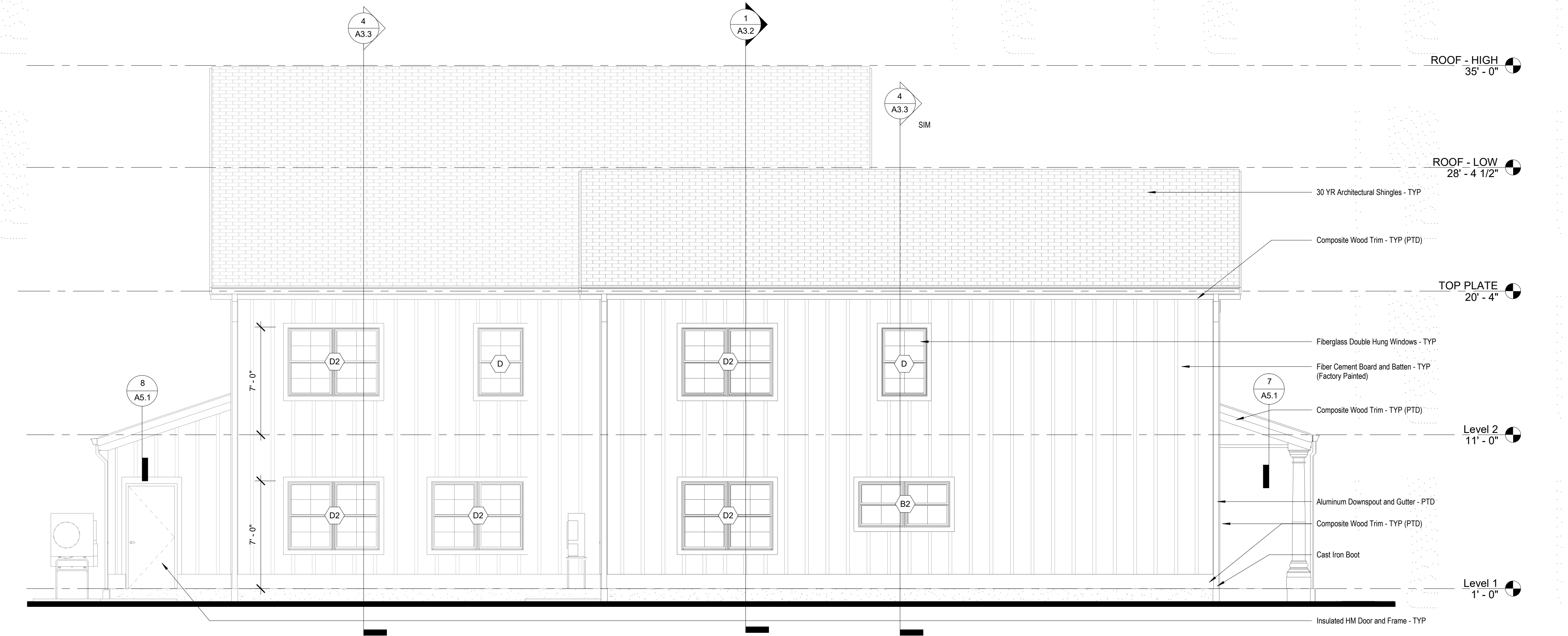
CHECKED BY Checker

SHEET NO.

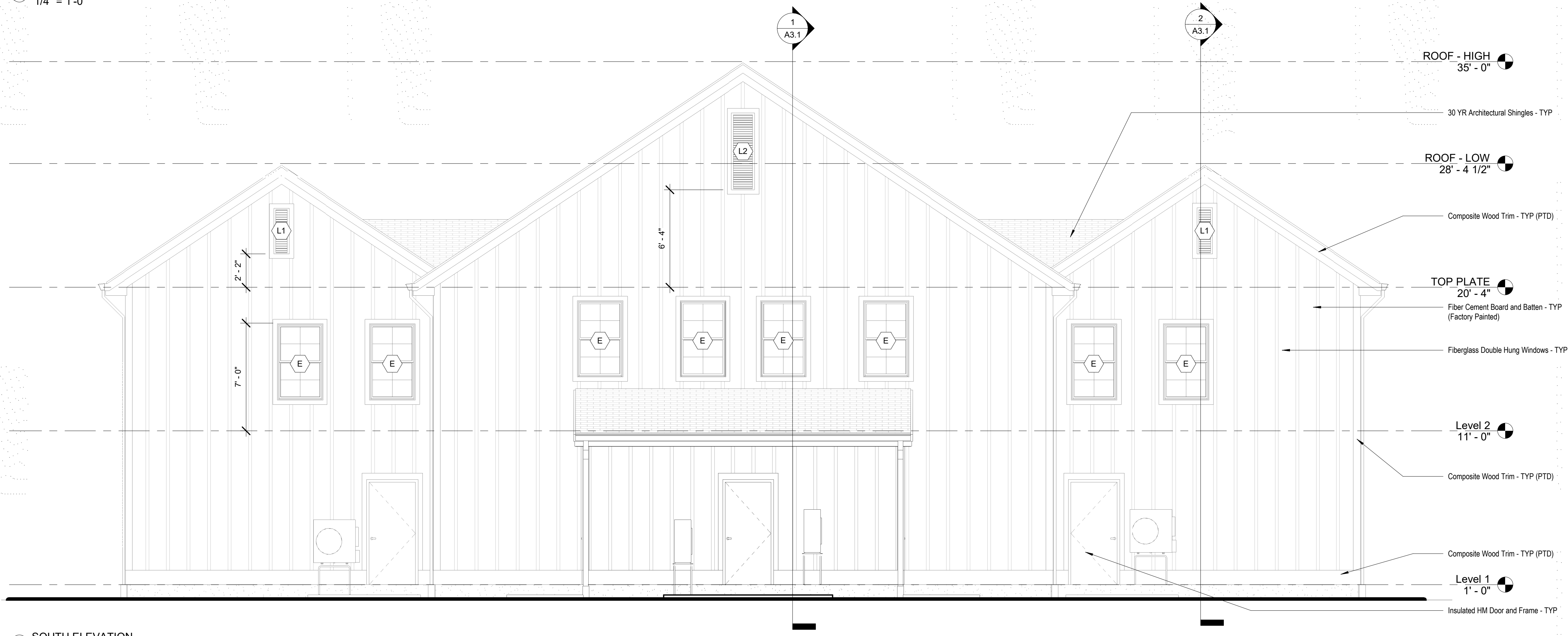
A2.1

5/24/2022 5:24:09 PM





2 EAST ELEVATION  
1/4" = 1'-0"



1 SOUTH ELEVATION  
1/4" = 1'-0"

JUSTER POPE FRAZIER LLC  
Architects and Planners  
82 North Street  
Northampton, Massachusetts 01060  
413 . 586 . 1600

Girard & Co. Engineers, LLC  
Structural Engineers  
10 Waterchase Drive  
Rocky Hill, CT 06067  
860 . 563 . 3820

VAV International Inc  
Consulting Mechanical Engineers  
400 W. Cummings Park, Suite 4700  
Woburn, MA 01801  
781 . 935 . 7228

Shepard Engineering Inc.  
Electrical Consulting Services  
1308 Grafton Street  
Worcester, MA 01604  
508 . 753 . 7793

CHA Consulting, Inc.  
Civil Engineering  
101 East River Drive  
1st floor  
East Hartford CT 06108  
860 . 290 . 4100

NICHOLS COLLEGE

TOWNHOMES

CENTER ROAD, DUDLEY MA 01571

#### REVISIONS

NO.	DATE	BY	REMARKS

SET

Planning board  
Submission

SHEET TITLE

EXTERIOR  
ELEVATIONS

DATE MAY 25, 2022

SCALE 1/4" = 1'-0"

DRAWN BY AH

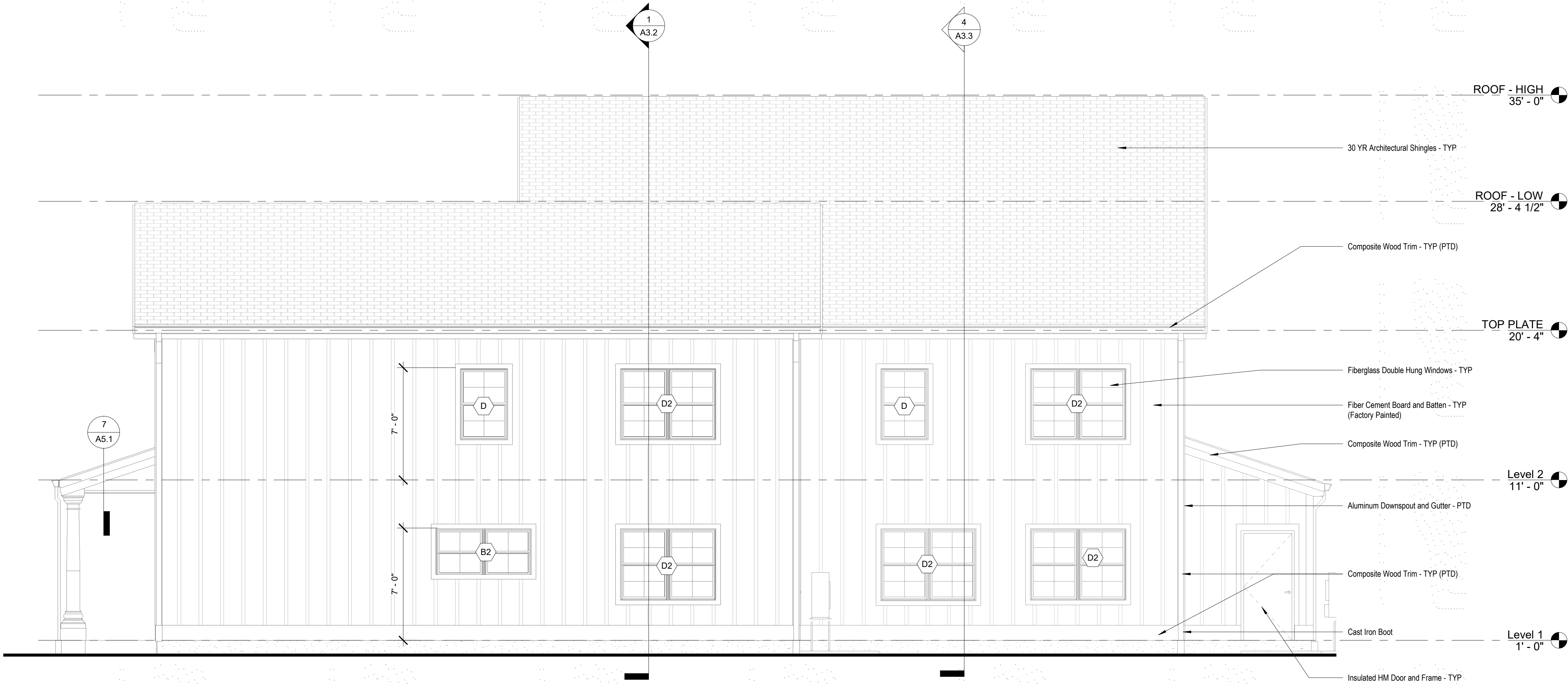
CHECKED BY Checker

SHEET NO.

A2.2

5/24/2022 5:24:12 PM





1 WEST ELEVATION  
1/4" = 1'-0"

JUSTER POPE FRAZIER LLC  
Architects and Planners  
82 North Street  
Northampton, Massachusetts 01060  
413 . 586 . 1600

Girard & Co. Engineers, LLC  
Structural Engineers  
10 Waterchase Drive  
Rocky Hill, CT 06067  
860 . 563 . 3820

VAV International Inc  
Consulting Mechanical Engineers  
400 W. Cummings Park, Suite 4700  
Woburn, MA 01801  
781 . 935 . 7228

Shepard Engineering Inc.  
Electrical Consulting Services  
1308 Grafton Street  
Worcester, MA 01604  
508 . 753 . 7793

CHA Consulting, Inc.  
Civil Engineering  
101 East River Drive  
1st floor  
East Hartford CT 06108  
860 . 290 . 4100

NICHOLS COLLEGE

TOWNHOMES

CENTER ROAD, DUDLEY MA 01571

REVISIONS

NO.	DATE	BY	REMARKS

SET

Planning board  
Submission

SHEET TITLE

EXTERIOR  
ELEVATIONS

DATE MAY 25, 2022

SCALE 1/4" = 1'-0"

DRAWN BY Author

CHECKED BY Checker

SHEET NO.

A2.3